

# Council Assessment Panel Agenda & Reports

**23 June 2025**

## **Our Vision**

*A City which values its heritage, cultural diversity,  
sense of place and natural environment.*

*A progressive City which is prosperous, sustainable  
and socially cohesive, with a strong community spirit.*

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City of  
Norwood  
Payneham  
& St Peters

18 June 2025

### To all Members of the Council Assessment Panel:

- Mr Stephen Smith (Presiding Member)
- Mr Julian Rutt
- Cr Christel Mex
- Mr Paul Mickan (Deputy Member)
- Mr Mark Adcock
- Mr Ross Bateup
- Cr Kester Moorhouse (Deputy Member)

### NOTICE OF MEETING

I wish to advise that pursuant to Clause 1.5 of the Meeting Procedures, the next Ordinary Meeting of the Norwood Payneham & St Peters Council Assessment Panel, will be held in St Peters Town Hall (Banquet Room), which is located at 101 Payneham Road ST PETERS., on:

**Monday 23 June 2025, commencing at 6.30pm.**

Please advise Daniella Hadgis on 8366 4508 or email [dhadgis@npsp.sa.gov.au](mailto:dhadgis@npsp.sa.gov.au) if you are unable to attend this meeting or will be late.

Yours faithfully



Geoff Parsons  
**ASSESSMENT MANAGER**

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City of  
Norwood  
Payneham  
& St Peters

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**VENUE**                      St Peters Town Hall

**HOUR**                      6.30pm

**PRESENT**

**Panel Members**        Mr Stephen Smith  
                                 Cr Christel Mex  
                                 Mr Paul Mickan  
                                 Mr Ross Bateup

**Staff**                      Geoff Parsons, Manager, Development & Regulatory Services  
                                 Kieran Fairbrother, Senior Urban Planner  
                                 Ned Feary, Senior Urban Planner  
                                 Tala Aslat, Administration Officer  
                                 Daniella Hadgis Administration Officer

**APOLOGIES**              Mr Julian Rutt  
                                 Mr Mark Adcock

**ABSENT**

1.        **COMMENCEMENT AND WELCOME**
2.        **APOLOGIES**
3.        **CONFIRMATION OF THE MINUTES OF THE MEETING OF THE COUNCIL ASSESSMENT  
            PANEL HELD ON 19 MAY 2025**
4.        **DECLARATION OF INTERESTS**

**5. DEVELOPMENT APPLICATIONS – PDI ACT**

**5.1 DEVELOPMENT NUMBER ID 25001212 – YOGO DESIGN & CONSULTING PTY LTD  
- 68 SYDENHAM RD NORWOOD SA 5067**

<b>DEVELOPMENT NO.:</b>	25001212
<b>APPLICANT:</b>	YOGO DESIGN & CONSULTING PTY LTD
<b>ADDRESS:</b>	68 SYDENHAM RD NORWOOD SA 5067
<b>NATURE OF DEVELOPMENT:</b>	Construction of a two-storey group dwelling, with change of use from a detached dwelling to a group dwelling and two-storey dwelling addition to a Local Heritage Place
<b>ZONING INFORMATION:</b>	<p><b>Zones:</b></p> <ul style="list-style-type: none"> <li>• Established Neighbourhood</li> </ul> <p><b>Overlays:</b></p> <ul style="list-style-type: none"> <li>• Airport Building Heights (Regulated)</li> <li>• Historic Area</li> <li>• Heritage Adjacency</li> <li>• Local Heritage Place</li> <li>• Prescribed Wells Area</li> <li>• Regulated and Significant Tree</li> <li>• Stormwater Management</li> <li>• Traffic Generating Development</li> <li>• Urban Tree Canopy</li> </ul> <p><b>Technical Numeric Variations (TNVs):</b></p> <ul style="list-style-type: none"> <li>• Minimum Site Area (Minimum site area is 200 sqm)</li> <li>• Maximum Building Height (Levels) (Maximum building height is 2 levels)</li> </ul>
<b>LODGEMENT DATE:</b>	28 Jan 2025
<b>RELEVANT AUTHORITY:</b>	Assessment panel/Assessment manager at City of Norwood, Payneham and St. Peters
<b>PLANNING &amp; DESIGN CODE VERSION:</b>	P&D Code (in effect) 2025.1 16/01/2025
<b>CATEGORY OF DEVELOPMENT:</b>	Code Assessed - Performance Assessed
<b>NOTIFICATION:</b>	Yes
<b>RECOMMENDING OFFICER:</b>	Edmund Feary - Senior Urban Planner
<b>REFERRALS STATUTORY:</b>	None
<b>REFERRALS NON-STATUTORY:</b>	Heritage Advisor

## CONTENTS:

<b>APPENDIX 1:</b>	<b>Relevant P&amp;D Code Policies</b>	<b>ATTACHMENT 5:</b>	<b>Representations</b>
<b>ATTACHMENT 1:</b>	<b>Application Documents</b>	<b>ATTACHMENT 6:</b>	<b>Response to Representations</b>
<b>ATTACHMENT 2:</b>	<b>Subject Land &amp; Locality Map</b>	<b>ATTACHMENT 7:</b>	<b>Internal Referral Advice</b>
<b>ATTACHMENT 3:</b>	<b>Zoning Map</b>	<b>ATTACHMENT 8:</b>	<b>Heritage Survey Report</b>
<b>ATTACHMENT 4:</b>	<b>Representation Map</b>		

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## DETAILED DESCRIPTION OF PROPOSAL:

The proposal seeks to retain the existing single storey cottage (which is a Local Heritage Place), with associated restoration work, and construct a two-storey addition to the rear of this, and another dwelling alongside this.

As a result of them both sharing a driveway, these are considered group dwellings. As a result, there is also a change of use component to reflect that the existing detached dwelling would be changing use to a group dwelling.

There would be a limited amount of partial demolition to the Local Heritage Place by altering existing openings, with the later addition and verandah at the rear to be removed along with the existing carport. The non-original front verandah is proposed to be retained.

The development also involves the construction of an arbor/pergola over the driveway.

## BACKGROUND:

The site was identified as being recommended for local heritage listing during the 1994 Heritage Survey, with the Heritage Survey Report provided in **Attachment 8**. This recommendation was accordingly adopted, and the site was listed.

This development application was lodged on 28 January 2025, with assessment and a period of negotiations meaning that the notification period ran from 22 April to 13 May 2025, with one opposed representation received.

## SUBJECT LAND & LOCALITY:

### Site Description:

<b>Title ref.:</b> CT 5078/579	<b>Plan Parcel:</b> F100061 AL23	<b>Council:</b> THE CITY OF NORWOOD PAYNEHAM AND ST PETERS
Shape:	Regular	
Frontage width:	15.25m	
Area:	550m <sup>2</sup>	
Topography:	Mostly flat, fall of 500mm in a north-westerly direction	
Existing structures:	Early Victorian two roomed bluestone cottage (Local Heritage Place) with a modified front verandah and timber picket fence	
Existing vegetation:	Lawn to front and rear yards	

## Locality

The locality is shown in **Attachment 2**. It is considered to extend some 65m north to The Parade, approximately 65m east along Edsall Street, and 80m south along Sydenham Road (both sides).

The Parade is an activity centre with a much more commercial form. The corners of The Parade and Sydenham are reinforced with two-storey buildings with zero setback, with both of these having their carpark accessed from Sydenham Road. There is then a transition into a more residential character along Sydenham Road to the south, though a number of small-scale commercial uses occupy former dwellings and corner shops along Sydenham Road.

Immediately opposite the site on Sydenham Road is the Wynwood Nursing Home (though it has been vacant for some time). This is an historic building on a far larger scale than any others in the locality, meaning that it does not follow the same pattern, with its large, landscaped grounds. That said, it does contribute to the historic character of the Sydenham Road streetscape, which is predominantly formed of cottages (both single and double fronted).

The Edsall Street streetscape is less historic than Sydenham Road, having a greater preponderance of newer, infill development. In both Sydenham and Edsall, the residential development pattern is relatively compact.

There is a relatively moderate level of tree canopy coverage, though this is mostly on public land, and the locality overall exhibits a high degree of amenity.

## CONSENT TYPE REQUIRED:

Planning Consent

## CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:**  
Demolition  
Group dwelling: Code Assessed - Performance Assessed  
Partial demolition of a building or structure: Code Assessed - Performance Assessed  
New housing  
Dwelling alteration or addition  
Dwelling addition: Code Assessed - Performance Assessed
- **OVERALL APPLICATION CATEGORY:**  
Code Assessed - Performance Assessed
- **REASON**  
P&D Code; No other pathway- LHP

## PUBLIC NOTIFICATION

- **REASON**  
Involves partial demolition of an LHP due to the internal works in the bluestone cottage.
- **LIST OF REPRESENTATIONS**

First Name	Surname	Address	Position	Wishes to be heard?
Lance	Worrall		Opposed	Yes

- **SUMMARY**  
The representor was concerned primarily by overshadowing, with additional points relating to mass and scale, and a lack of soft landscaping

## AGENCY REFERRALS

None

## INTERNAL REFERRALS

- Heritage Advisor, David Brown

Council's Heritage Advisor has provided advice at various stages through the application, including negotiations regarding amendments, some of which have been incorporated into the current proposal. Notwithstanding this, he is not supportive of the proposal, for reasons outlined in **Attachment 7**. This will be discussed further in the Heritage section of the assessment.

## PLANNING ASSESSMENT

The application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in Appendix One.

### Land Use

The proposed development is residential in nature, as envisaged in Established Neighbourhood Zone (ENZ) PO 1.1: *"Predominantly residential development with complementary non-residential activities compatible with the established development pattern of the neighbourhood."*

While the proposal would result in a change of use within the broader "genus" of residential uses, these uses are envisaged in the ENZ, and it is considered acceptable.

### Density

The site has a Minimum Site Area Technical and Numeric Variation (TNV) of 200m<sup>2</sup>, with the proposed average allotment size (including common property) for this proposal being 225m<sup>2</sup>. Therefore, the proposed site areas accord with the anticipated site areas in the Zone.

The locality exhibits similarly compact development, including using common driveways such as at 66 Sydenham Road, immediately to the north. It is considered that the proposal would be consistent with the prevailing development pattern in the locality as sought by ENZ PO 2.1.

### Building Height

The site has a Maximum Building Height TNV of two levels, which the proposal complies with. The Historic Area Statement also envisages building heights of "Up to two storeys".

### Setbacks, Design & Appearance

The overall design of the development seeks to work with the single storey form at the front of the site, and transition to a two-storey form at the rear.

The proposed site coverage of 46% is within the 50% expected by ENZ DPF 3.1, meaning that the building footprint is generally consistent with the character and pattern of the neighbourhood, as sought by the associated PO.

The proposal's ground floor side setbacks comply with ENZ DPF 8.1 in that they are greater than 900mm. In terms of upper floor side setbacks, the wall height of 6m results in DPF 8.1 expecting 1.9m on northern side and 2.9m on the southern side. The proposal does indeed comply with this.

The ground floor rear setback is less than the 4m sought by ENZ DPF 9.1, and the upper floor rear setback is also only 3m compared to the 6m expected in the DPF.

Considering the associated PO:

*Buildings are set back from rear boundaries to provide:*

- (a) *separation between buildings in a way that complements the established character of the locality*
- (b) *access to natural light and ventilation for neighbours*
- (c) *private open space*
- (d) *space for landscaping and vegetation.*

The locality is characterised by relatively tightly packed dwellings with 70 Sydenham and 1A Edsall similarly falling short of this DPF. Proximity to The Parade is also noteworthy in this regard, where rear setbacks of zero is commonplace.

This is not considered contrary to the character of the area.

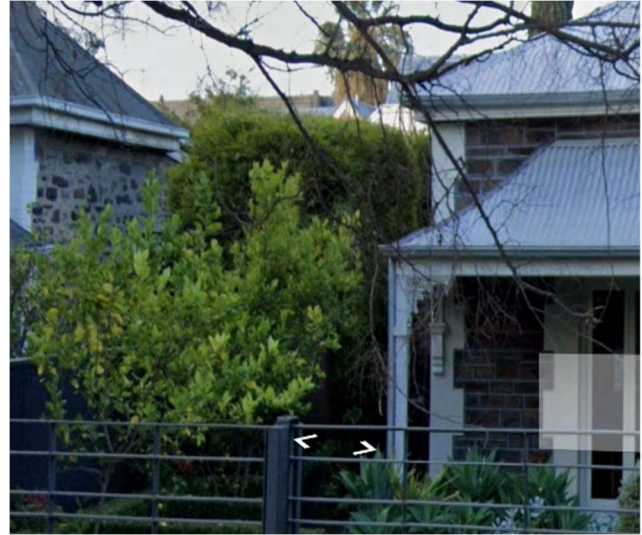
Shadowing is considered further below, as are the matters of private open space and landscaping.

### Overshadowing

As noted above, the development does comply with the side setback guidelines of the Code, which, given the southern boundary is a side boundary, are the key guidelines with regard to overshadowing. Nonetheless, the Code does provide three further policies in relation to overshadowing in the Interface Between Land Uses Module:

<p>PO 3.1</p> <p>Overshadowing of habitable room windows of adjacent residential land uses in:</p> <p>a neighbourhood-type zone is minimised to maintain access to direct winter sunlight.</p> <p>other zones are managed to enable access to direct winter sunlight.</p>	<p>DTS/DPF 3.1</p> <p>North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.</p>
<p>PO 3.2</p> <p>Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in:</p> <p>a neighbourhood type zone is minimised to maintain access to direct winter sunlight.</p> <p>other zones is managed to enable access to direct winter sunlight.</p>	<p>DTS/DPF 3.2</p> <p>Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a neighbourhood-type zone in accordance with the following:</p> <p>for ground level private open space, the smaller of the following:</p> <p>half the existing ground level open space or</p> <p>35m<sup>2</sup> of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m)</p> <p>for ground level communal open space, at least half of the existing ground level open space.</p>
<p>PO 3.3</p> <p>Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:</p> <p>the form of development contemplated in the zone.</p> <p>the orientation of the solar energy facilities</p> <p>the extent to which the solar energy facilities are already overshadowed.</p>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>

From what can be seen on a desktop inspection, the representor's dwelling at 70 Sydenham Road has its main area of private open space on the southern side of the dwelling, so this would be unaffected by the proposed development. While the exact position of any north facing windows on this dwelling is unknown, it would seem that an existing hedge would provide substantial shading to these windows at present. This hedge is shown in the images below from both an aerial and streetview perspective.



In their response to representations, the applicant suggested that the representor has since removed their solar panels, rendering any consideration of these moot. This has not been verified, but in any event, the applicant's shadow diagrams show that these solar panels would not be shadowed beyond 10am on the winter solstice. Noting again that the Zone envisages two storey development, and that the relevant setback, the southern side setback, complies with the relevant DPF, this is considered reasonable.

In terms of impacts on 1A Edsall Street, significant shade structures already cover much of this rear yard, and these structures would shade most of the north facing windows of this dwelling (at ground floor) and most of the private open space. Given the proximity of 1A Edsall Street to the rear boundary (approximately 2m at its narrowest point), this level of overshadowing is somewhat unavoidable. Again, given the proposed development complies with the setback and height guidance provided by the Code (with the exception of the rear boundary setback, which has a more limited shadowing impact), the level of overshadowing is not considered to be grounds to refuse the development.

## Heritage

Council's Heritage Advisor was involved in negotiations relating to an amended proposal and the proposal as it stands reflects some of his commentary. Notwithstanding this, he remains of the view that the proposal is "not a good outcome for the Local Heritage Place". His advice is outlined in detail in **Attachment 7**. The key points are:

- Objection to the addition being set hard against the Local Heritage Place, meaning no visual separation and requiring an alteration to the existing roof form;
- Limited acknowledgement of the context of the development; and,
- Imbalance in scale between the Local Heritage Place and the new development.

Performance Outcome 2.1 of the Local Heritage Place Overlay states:

*"Alterations and additions complement the subject building and are sited to be unobtrusive, not conceal or obstruct heritage elements and detailing, or dominate the Local Heritage Place or its setting"*

Performance Outcome 1.2 of the Local Heritage Place Overlay is also of relevance:

*“Massing, scale and siting of development maintains the heritage values of the Local Heritage Place.”*

It is noted that the original Heritage Survey sheet (**Attachment 8**) for the site makes the following recommendation:

*“Retention and protection of the original form of the building its setting and all associated original building fabric, as viewed from the road.”*

The last part of this: “as viewed from the road”, is worthy of some consideration. This is generally a distinction held between Representative Buildings and Local Heritage Places, i.e. that a Local Heritage Place should preserve fabric beyond just its streetscape presentation; however, that seems not to have been the intent with the listing of this LHP. The alterations which are made to the original fabric are all in a position where these would not be visible from the street. Therefore, despite not reflecting best practice in heritage architecture, the proposal does achieve the outcome intended by the heritage listing.

Regarding the imbalance in scale, the Heritage Advisor notes that the northern approach to the site consists of three driveways in a row, because of the driveway handle of 66A Sydenham Road. This does open out more views of the addition, however these will, to at least some extent, be mitigated by carports. The development proposes an arbor to the northern side of the heritage place, which would block much of the view down the driveway of this site. There is also a solid roofed carport structure for 66 Sydenham Road- i.e. the most northerly and southerly of the three driveways have structures obscuring views of the new development. The middle driveway is the vehicle parking area for 66A Sydenham Road, and it is noted that this site has no other covered parking area. There is therefore some potential that there may be a carport here in future as well, though naturally this cannot be relied upon.

Therefore, while finely balanced, the recommendation considers that despite the Heritage Advisor's view, the proposal does not compromise the Local Heritage Place to such an extent that it would warrant refusal.

### **Access and Parking**

The development proposes to continue using the existing crossover, so there would be no impact on existing verge infrastructure or on-street parking.

The proposal includes a double garage for each dwelling, providing two spaces for each in accordance with Transport, Access and Parking Table 1. This Table does not seek for any visitor parking to be provided as less than three dwellings are proposed.

The double garages both accord with the minimum dimensions outlined in Design in Urban Areas DPF 23.1.

Design in Urban Area DPF 33.4 states:

*Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.*

The applicant was asked to provide swept path turning diagrams to demonstrate this. The applicant has provided such diagrams which show that the manoeuvring is constrained, but it is possible to make the manoeuvres work with a B85 vehicle in no more than a three-point turn. Practically, swept path turning diagrams tend to be relatively conservative for the vehicle type they portray, but this is balanced by the fact that B99 vehicles are now commonly used for domestic purposes. Overall however, the proposal is considered to achieve that manoeuvring standard which is expected by the Code.

### **Private Open Space**

The front dwelling provides a total of 28m<sup>2</sup> of private open space across two areas; a ground level space of 20m<sup>2</sup> and a balcony of 8.1m<sup>2</sup>. Using the average site area of 225m<sup>2</sup>, Design in Urban Areas Table 1 would expect 24m<sup>2</sup> of private open space to be provided, which it is. That said, it would also expect at least 16m<sup>2</sup> of this, with a minimum dimension of 3m, to be directly accessible from a living room.

The ground floor open space does comply with this size and minimum dimension, but it is only accessible either through the garage or via the kitchen and then turning left.

In terms of the balcony, this has a minimum dimension of 1.8m, which is the minimum balcony dimension that the Code provides for a studio apartment (i.e. essentially the minimum viable balcony envisaged by the Code). It is also oriented north for better solar access.

Overall, the question is whether this is “suitable to meet the needs of occupants” as per Design in Urban Areas PO 21.1 and “positioned to provide convenient access from internal living area” per Design in Urban Areas PO 21.2. It is noted that a separate clothesline area is also provided, which improves the useability of the remainder of the areas, and realistically, walking through the kitchen and turning a corner is not a massive impost. Therefore, the area is considered suitable.

The rear dwelling has a slightly more conventional private open space arrangement, with a 42.6m<sup>2</sup> backyard and again complies with the guidance of Design in Urban Areas Table 1.

### **Soft Landscaping**

The proposal includes a total of 113.7m<sup>2</sup> of soft landscaping, or 20.7% of the total area. For group dwellings with an average site area of between 200-450m<sup>2</sup>, the Code at Design in Urban Areas DPF 22.1 provides a guideline of 20% of the site area as soft landscaping. Therefore, the proposal modestly exceeds the expected amount of soft landscaping across the site as a whole.

### **Stormwater Management**

The site levels, with a slight slope towards the street, allow for gravity-fed stormwater to be discharged to the street water table. The proposal also includes rainwater tanks consistent with Stormwater Management Overlay DPF 1.1, and 50% of the driveway surface would be constructed from permeable paving consistent with Design in Urban Areas DPF 34.2 (a).

Council's Heritage Advisor has suggested that the area of permeable paving next to the dwelling has the potential to increase cracking and stability issues. Therefore, while a permeable paving area should be provided, a Reserved Matter is proposed to revise the location of the permeable paving to ensure that it will not impact the stability of the Local Heritage Place.

### **Waste Management**

The proposal includes a defined space for bins for the rear dwelling, and it is clear that space would be available to the southern side of the front dwelling. The development would be eligible for kerbside collection with individual bins for each dwelling.

### **Privacy**

The plans show upper floor windows obscured to a height of 1.5m above floor level, and the balcony balustrades obscured up to a height of 1.7m, consistent with Design in Urban Areas DPF 10.1 and 10.2 respectively. Therefore, the development is considered to suitably mitigate direct overlooking in the manner expected by the Code.

### **Question of Seriously at Variance**

The proposed development comprises two group dwellings and associated works subordinate to this work. It is located in the Established Neighbourhood Zone. Development of this nature is appropriate within the site, locality and in the subject Zone for the following reasons.

- 1) The Zone is a Neighbourhood-Type Zone which primarily intends residential development, as is proposed here;
- 2) The proposal retains a Local Heritage Place

The proposed development is not considered seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*.

## CONCLUSION

On balance, the development is considered to sufficiently comply with the provisions of the Planning and Design Code to warrant approval. The works to the original fabric of the Local Heritage Place are not visible from the public realm and are relatively insubstantial. The more substantial new works for the dwelling addition and the new dwelling are of a scale which is concerning, but are sufficiently set back from the street, and obscured by other structures, such that it will not unduly dominate the appearance of the Local Heritage Place.

While the scale and mass of the development does appear significant at first glance, the proposal does comply with the relevant side setback guidelines, and the departures from the rear setback guidelines is not such that its impact is unacceptable.

With regard to functional requirements, while there are some challenges, the development is considered to meet the standard of functionality sought by the Code.

## RECOMMENDATION

It is recommended that the Council Assessment Panel resolve that:

1. The proposed development is not considered seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*.
2. Development Application Number 25001212, by YOGO DESIGN & CONSULTING PTY LTD is granted Planning Consent subject to the following reserved matter/conditions:

## RESERVED MATTER

An updated Site & Drainage Plan shall be prepared and provided to the reasonable satisfaction of the Assessment Manager that:

- Shows the proposed permeable paving, including construction details, in such a manner as to ensure that the permeable paving does not compromise the structural integrity of the Local Heritage Place.

The authority to resolve the Reserved Matter is hereby delegated to the Assessment Manager.

*Note: Further conditions may be imposed on the Planning Consent following satisfaction of the above matter.*

## CONDITIONS PLANNING CONSENT

### Condition 1

The development granted Planning Consent shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any).

### Condition 2

Either:

1. Tree(s) must be planted and/or retained in accordance with DTS/DPF 1.1 of the Urban Tree Canopy Overlay in the Planning and Design Code (as at the date of lodgement of the application). New trees must be planted within 12 months of occupation of the dwelling(s) and maintained.
2. Where provided for by any relevant off-set scheme established under section 197 of the Planning, Development and Infrastructure Act 2016 (as at the date of lodgement of the application), payment of an amount calculated in accordance with the off-set scheme may be made in lieu of planting/retaining 1 or more trees as set out in the Urban Tree Canopy Overlay in the Planning and Design Code (as at the date of lodgement of the application). Payment must be made prior to the issue of development approval.

### Condition 3

The approved development must include rainwater tank storage for each dwelling which is:

1. connected to at least 80% of the roof area;
2. connected to one toilet and either the laundry cold water outlets or hot water service;
3. with a minimum retention capacity of 2000 litres;
4. if the site perviousness is less than 30%, with a minimum detention capacity of 1000 litres; and
5. where detention is required, includes a 20-25 mm diameter slow-release orifice at the bottom of the detention component of the tank

within 12 months of occupation of the dwelling(s).

#### Condition 4

All areas nominated as landscaping or garden areas on the approved plans shall be planted with a suitable mix and density of trees, shrubs and groundcovers within the next available planting season after the occupation of the premises to the reasonable satisfaction of the Assessment Manager and such plants, as well as any existing plants which are shown to be retained, shall be nurtured and maintained in good health and condition at all times, with any diseased or dying plants being replaced, to the reasonable satisfaction of the Assessment Manager or its delegate.

#### Condition 5

The proposed common driveway shall be constructed from at least 50% permeable material. This permeable material shall be maintained in such a state that reasonably ensures its continued permeability, to the reasonable satisfaction of the Assessment Manager.

#### Condition 6

All stormwater from buildings and hard-surfaced areas shall be disposed of in accordance with recognised engineering practices in a manner and with materials that does not result in the entry of water onto any adjoining property or any building, and does not affect the stability of any building and in all instances the stormwater drainage system shall be directly connected into either the adjacent street kerb & water table or a Council underground pipe drainage system.

#### Condition 7

The upper floor windows to side (northern and southern) and rear (eastern) elevations shall either have sill heights of a minimum of 1500mm above floor level or be treated to a minimum height of 1500mm above floor level, prior to occupation of the building, in a manner that restricts views being obtained by a person within the room to the reasonable satisfaction of the Assessment Manager and such treatment shall be maintained at all times.

#### Condition 8

The balustrades of the balconies located on the northern side of each proposed dwelling shall be treated to a height of 1700mm above floor level, prior to occupation of the building, in a manner that restricts views being obtained by a person occupying the balcony, to the reasonable satisfaction of the Assessment Manager and such treatment shall be maintained at all times.

### **ADVISORY NOTES PLANNING CONSENT**

#### Advisory Note 1

No work can commence on this development unless a Development Approval has been obtained. If one or more Consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.

#### Advisory Note 2

Consents issued for this Development Application will remain valid for the following periods of time:

1. Planning Consent is valid for 24 months following the date of issue, within which time Development Approval must be obtained;
2. Development Approval is valid for 24 months following the date of issue, within which time works must have substantially commenced on site;
3. Works must be substantially completed within 3 years of the date on which Development Approval is issued.

If an extension is required to any of the above-mentioned timeframes a request can be made for an extension of time by emailing the Planning Department at [townhall@npsp.sa.gov.au](mailto:townhall@npsp.sa.gov.au). Whether or not an extension of time will be granted will be at the discretion of the relevant authority.

#### Advisory Note 3

Appeal Rights - General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.

#### Advisory Note 4

The Applicant is reminded of its responsibilities under the *Environment Protection Act 1993*, to not harm the environment. Specifically, paint, plaster, concrete, brick wastes and wash waters should not be discharged into the stormwater system, litter should be appropriately stored on site pending removal, excavation and site disturbance should be limited, entry/exit points to the site should be managed to prevent soil being carried off site by vehicles, sediment barriers should be used (particularly on sloping sites), and material stockpiles should all be placed on site and not on the footpath or public roads or reserves. Further information is available by contacting the EPA.

#### Advisory Note 5

The granting of this consent does not remove the need for the beneficiary to obtain all other consents which may be required by any other legislation.

The Applicant's attention is particularly drawn to the requirements of the *Fences Act 1975* regarding notification of any neighbours affected by new boundary development or boundary fencing. Further information is available in the 'Fences and the Law' booklet available through the Legal Services Commission.

#### Advisory Note 6

The Applicant is advised that construction noise is not allowed:

1. on any Sunday or public holiday; or
2. after 7pm or before 7am on any other day

#### Advisory Note 7

The Applicant is advised that any works undertaken on Council owned land (including but not limited to works relating to crossovers, driveways, footpaths, street trees and stormwater connections), or works that require the closure of the footpath and / or road to undertake works on the development site, will require the approval of the Council pursuant to the *Local Government Act 1999* prior to any works being undertaken. Further information may be obtained by contacting Council's Public Realm Compliance Officer on 8366 4513.

#### Advisory Note 8

The Applicant is advised that the condition of the footpath, kerbing, vehicular crossing point, street tree(s) and any other Council infrastructure located adjacent to the subject land will be inspected by the Council prior to the commencement of building work and at the completion of building work. Any damage to Council infrastructure that occurs during construction must be rectified as soon as practicable and, in any event, no later than four (4) weeks after substantial completion of the building work. The Council reserves its right to recover all costs associated with remedying any damage that has not been repaired in a timely manner from the appropriate person.

#### Advisory Note 9

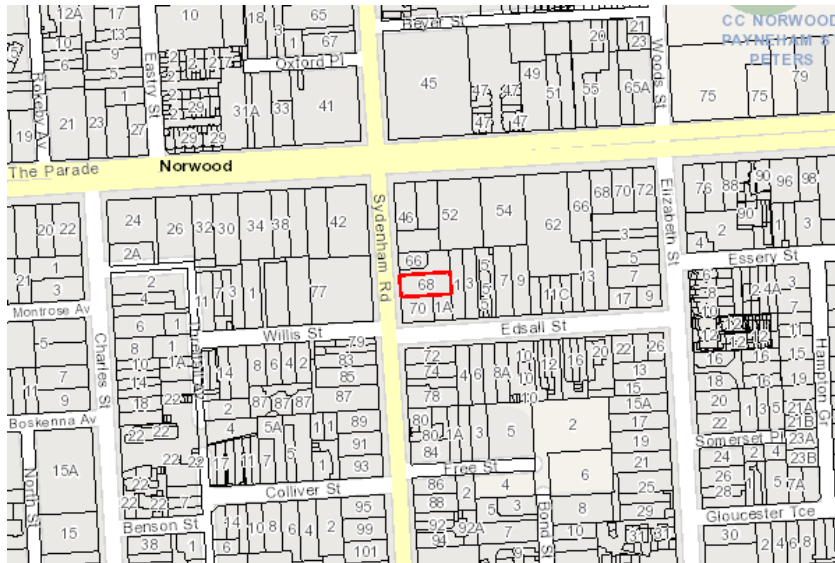
The Council has not surveyed the subject land and has, for the purpose of its assessment, assumed that all dimensions and other details provided by the Applicant are correct and accurate.

#### Advisory Note 10

If excavating, it is recommended you contact Before You Dig Australia (BYDA) ([www.byda.com.au](http://www.byda.com.au)) to keep people safe and help protect underground infrastructure.

Address: 68 SYDENHAM RD NORWOOD SA 5067

To view a detailed interactive property map in SAPPA click on the map below



### Property Zoning Details

#### Zone

Established Neighbourhood

#### Overlay

Airport Building Heights (Regulated) (*All structures over 45 metres*)  
 Historic Area (NPSP15)  
 Heritage Adjacency  
 Local Heritage Place (5915)  
 Prescribed Wells Area  
 Regulated and Significant Tree  
 Stormwater Management  
 Traffic Generating Development  
 Urban Tree Canopy

#### Local Variation (TNV)

Minimum Site Area (*Minimum site area is 200 sqm*)  
 Maximum Building Height (Levels) (*Maximum building height is 2 levels*)

### Selected Development(s)

Group dwelling

**This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards.**

*If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development*

[Group dwelling - Code Assessed - Performance Assessed](#)

## Part 2 - Zones and Sub Zones

## Established Neighbourhood Zone

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development patterns.
DO 2	Maintain the predominant streetscape character, having regard to key features such as roadside plantings, footpaths, front yards, and space between crossovers.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature		
Land Use and Intensity			
<p>PO 1.1</p> <p>Predominantly residential development with complementary non-residential activities compatible with the established development pattern of the neighbourhood.</p>	<p>DTS/DPF 1.1</p> <p>Development comprises one or more of the following:</p> <ul style="list-style-type: none"><li>(a) Ancillary accommodation</li><li>(b) Community facility</li><li>(c) Consulting room</li><li>(d) Dwelling</li><li>(e) Office</li><li>(f) Recreation area</li><li>(g) Shop.</li></ul>		
Site Dimensions and Land Division			
<p>PO 2.1</p> <p>Allotments/sites for residential purposes are of suitable size and dimension to accommodate the anticipated dwelling form and are compatible with the prevailing development pattern in the locality.</p>	<p>DTS/DPF 2.1</p> <p>Development will not result in more than 1 dwelling on an existing allotment</p> <p>or</p> <p>Development involves the conversion of an existing dwelling into two or more dwellings and the existing dwelling retains its original external appearance to the public road</p> <p>or</p> <p>Allotments/sites for residential purposes accord with the following:</p> <ul style="list-style-type: none"><li>(a) site areas (or allotment areas in the case of land division) are not less than the following (average site area per dwelling, including common areas, applies for group dwellings or dwellings within a residential flat building):</li></ul> <table><tr><th>Minimum Site Area</th></tr><tr><td>Minimum site area is 200 sqm</td></tr></table> <p>and</p>	Minimum Site Area	Minimum site area is 200 sqm
Minimum Site Area			
Minimum site area is 200 sqm			

	<p>(b) site frontages (or allotment frontages in the case of land division) are not less than:</p> <p>In relation to DTS/DPF 2.1, in instances where:</p> <p>(c) more than one value is returned in the same field, refer to the <i>Minimum Frontage Technical and Numeric Variation</i> layer or <i>Minimum Site Area Technical and Numeric Variation</i> layer in the SA planning database to determine the applicable value relevant to the site of the proposed development</p> <p>(d) no value is returned in (a) or (b) (i.e. there is a blank field or the relevant dwelling type is not listed), then none are applicable and the relevant development cannot be classified as deemed-to-satisfy.</p>
<p>PO 2.2</p> <p>Development creating new allotments/sites in conjunction with retention of an existing dwelling ensures the site of the existing dwelling remains fit for purpose.</p>	<p>DTS/DPF 2.2</p> <p>Where the site of a dwelling does not comprise an entire allotment:</p> <p>(a) the balance of the allotment accords with the requirements specified in Established Neighbourhood Zone DTS/DPF 2.1, with 10% reduction in minimum site area where located in a Character Area Overlay or Historic Area Overlay</p> <p>(b) if there is an existing dwelling on the allotment that will remain on the allotment after completion of the development it will not contravene:</p> <p>(i) private open space requirements specified in Design in Urban Areas Table 1 - Private Open Space</p> <p>(ii) car parking requirements specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas to the nearest whole number.</p>
Site coverage	
<p>PO 3.1</p> <p>Building footprints are consistent with the character and pattern of the neighbourhood and provide sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.</p>	<p>DTS/DPF 3.1</p> <p>Development does not result in site coverage exceeding:</p> <p>In instances where:</p> <p>(a) no value is returned (i.e. there is a blank field), then a maximum 50% site coverage applies</p> <p>(b) more than one value is returned in the same field, refer to the Site Coverage Technical and Numeric Variation layer in the SA planning database to determine the applicable value relevant to the site of the proposed development.</p>
Building Height	
<p>PO 4.1</p> <p>Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings.</p>	<p>DTS/DPF 4.1</p> <p>Building height (excluding garages, carports and outbuildings) is no greater than:</p> <p>(a) the following:</p>

	<table><tr><th colspan="2">Maximum Building Height (Levels)</th></tr><tr><td colspan="2">Maximum building height is 2 levels</td></tr></table> <p>(b) in all other cases (i.e. there are blank fields for both maximum building height (metres) and maximum building height (levels)) - 2 building levels up to a height of 9m.</p> <p>In relation to DTS/DPF 4.1, in instances where:</p> <p>(c) more than one value is returned in the same field, refer to the <i>Maximum Building Height (Levels) Technical and Numeric Variation layer</i> or <i>Maximum Building Height (Meters) Technical and Numeric Variation layer</i> in the SA planning database to determine the applicable value relevant to the site of the proposed development.</p> <p>(d) only one value is returned for DTS/DPF 4.1(a) (i.e. there is one blank field), then the relevant height in metres or building levels applies with no criteria for the other.</p>	Maximum Building Height (Levels)		Maximum building height is 2 levels							
Maximum Building Height (Levels)											
Maximum building height is 2 levels											
Primary Street Setback											
PO 5.1 Buildings are set back from primary street boundaries consistent with the existing streetscape.	<p>DTS/DPF 5.1</p> <p>Buildings setback from the primary street boundary in accordance with the following table:</p> <table><tr><th>Development Context</th><th>Minimum setback</th></tr><tr><td>There is an existing building on both abutting sites sharing the same street frontage as the site of the proposed building.</td><td>The average setback of the existing buildings.</td></tr><tr><td>There is an existing building on only one abutting site sharing the same street frontage as the site of the proposed building and the existing building is not on a corner site.</td><td>The setback of the existing building.</td></tr><tr><td>There is an existing building on only one abutting site sharing the same street frontage as the site of the proposed building and the existing building is on a corner site.</td><td>(a) Where the existing building shares the same primary street frontage – the setback of the existing building  (b) Where the existing building has a different primary street frontage - no DTS/DPF is applicable</td></tr><tr><td>There is no existing building on either of the abutting sites sharing the same street frontage as the site of the proposed building.</td><td>No DTS/DPF is applicable.</td></tr></table> <p>For the purposes of <b>DTS/DPF 5.1</b>:</p>	Development Context	Minimum setback	There is an existing building on both abutting sites sharing the same street frontage as the site of the proposed building.	The average setback of the existing buildings.	There is an existing building on only one abutting site sharing the same street frontage as the site of the proposed building and the existing building is not on a corner site.	The setback of the existing building.	There is an existing building on only one abutting site sharing the same street frontage as the site of the proposed building and the existing building is on a corner site.	(a) Where the existing building shares the same primary street frontage – the setback of the existing building  (b) Where the existing building has a different primary street frontage - no DTS/DPF is applicable	There is no existing building on either of the abutting sites sharing the same street frontage as the site of the proposed building.	No DTS/DPF is applicable.
Development Context	Minimum setback										
There is an existing building on both abutting sites sharing the same street frontage as the site of the proposed building.	The average setback of the existing buildings.										
There is an existing building on only one abutting site sharing the same street frontage as the site of the proposed building and the existing building is not on a corner site.	The setback of the existing building.										
There is an existing building on only one abutting site sharing the same street frontage as the site of the proposed building and the existing building is on a corner site.	(a) Where the existing building shares the same primary street frontage – the setback of the existing building  (b) Where the existing building has a different primary street frontage - no DTS/DPF is applicable										
There is no existing building on either of the abutting sites sharing the same street frontage as the site of the proposed building.	No DTS/DPF is applicable.										

	<ul style="list-style-type: none"> <li>(a) the setback of an existing building on an abutting site to the street boundary that it shares with the site of the proposed building is to be measured from the closest building wall to that street boundary at its closest point to the building wall and any existing projection from the building such as a verandah, porch, balcony, awning or bay window is not taken to form part of the building for the purposes of determining its setback</li> <li>(b) any proposed projections such as a verandah, porch, balcony, awning or bay window may encroach not more than 1.5 metres into the minimum setback prescribed in the table</li> </ul>
Secondary Street Setback	
<p>PO 6.1</p> <p>Buildings are set back from secondary street boundaries (not being a rear laneway) to maintain the established pattern of separation between buildings and public streets and reinforce streetscape character.</p>	<p>DTS/DPF 6.1</p> <p>Building walls are set back from the secondary street boundary (other than a rear laneway):</p> <ul style="list-style-type: none"> <li>(a) no less than:</li> <li>or</li> <li>(b) 900mm, whichever is greater</li> <li>or</li> <li>(c) if a building (except for ancillary buildings and structures) on any adjoining allotment is closer to the secondary street, not less than the distance of that building from the boundary with the secondary street.</li> </ul> <p>In instances where no value is returned in DTS/DPF 6.1(a) (i.e. there is a blank field), then it is taken that the value for DTS/DPF 6.1(a) is zero.</p>
Boundary Walls	
<p>PO 7.1</p> <p>Walls on boundaries are limited in height and length to manage visual and overshadowing impacts on adjoining properties.</p>	<p>DTS/DPF 7.1</p> <p>Dwellings do not incorporate side boundary walls where a side boundary setback value is returned in (a) below:</p> <ul style="list-style-type: none"> <li>(a)</li> <li>or</li> <li>(b) where no side boundary setback value is returned in (a) above, and except where the building is a dwelling and is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (i) or (ii) below: <ul style="list-style-type: none"> <li>(i) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height</li> <li>(ii) side boundary walls do not: <ul style="list-style-type: none"> <li>A. exceed 3.2m in wall height from the lower of the natural or finished ground level</li> <li>B. exceed 8m in length</li> </ul> </li> </ul> </li> </ul>

	<ul style="list-style-type: none"> <li>C. when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary</li> <li>D. encroach within 3m of any other existing or proposed boundary walls on the subject land.</li> </ul>
<p>PO 7.2</p> <p>Dwellings in a semi-detached, row or terrace arrangement maintain space between buildings consistent with a low density suburban streetscape character.</p>	<p>DTS/DPF 7.2</p> <p>Dwellings in a semi-detached, row or terrace arrangement are setback from side boundaries shared with allotments outside the development site at least the minimum distance identified in Established Neighbourhood Zone DTS/DPF 8.1.</p>
Side Boundary Setback	
<p>PO 8.1</p> <p>Buildings are set back from side boundaries to provide:</p> <ul style="list-style-type: none"> <li>(a) separation between buildings in a way that complements the established character of the locality</li> <li>(b) access to natural light and ventilation for neighbours.</li> </ul>	<p>DTS/DPF 8.1</p> <p>Other than walls located on a side boundary in accordance with Established Neighbourhood Zone DTS/DPF 7.1, building walls are set back from the side boundary:</p> <ul style="list-style-type: none"> <li>(a) no less than:</li> <li>(b) in all other cases (i.e., there is a blank field), then: <ul style="list-style-type: none"> <li>(i) where the wall height does not exceed 3m measured from the lower of natural or finished ground level - at least 900mm</li> <li>(ii) for a wall that is not south facing and the wall height exceeds 3m measured from the lower of natural or finished ground level - at least 900mm from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the lower of natural or finished ground level</li> <li>(iii) for a wall that is south facing and the wall height exceeds 3m measured from the lower of natural or finished ground level - at least 1.9m from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the lower of natural or finished ground level.</li> </ul> </li> </ul>
Rear Boundary Setback	
<p>PO 9.1</p> <p>Buildings are set back from rear boundaries to provide:</p> <ul style="list-style-type: none"> <li>(a) separation between buildings in a way that complements the established character of the locality</li> <li>(b) access to natural light and ventilation for neighbours</li> <li>(c) private open space</li> <li>(d) space for landscaping and vegetation.</li> </ul>	<p>DTS/DPF 9.1</p> <p>Other than in relation to an access lane way, buildings are set back from the rear boundary at least:</p> <ul style="list-style-type: none"> <li>(a) 4m for the first building level</li> <li>(b) 6m for any second building level.</li> </ul>
Appearance	
<p>PO 10.1</p> <p>Garages and carports are designed and sited to be discreet and not dominate the appearance of the associated dwelling when</p>	<p>DTS/DPF 10.1</p> <p>Garages and carports facing a street (other than an access lane way):</p>

viewed from the street.	<ul style="list-style-type: none"> <li>(a) are set back at least 0.5m behind the building line of the associated dwelling</li> <li>(b) are set back at least 5.5m from the boundary of the primary street</li> <li>(c) have a total garage door / opening width not exceeding 30% of the allotment or site frontage, to a maximum width of 7m.</li> </ul>
PO 10.2 The appearance of development as viewed from public roads is sympathetic to the wall height, roof forms and roof pitches of the predominant housing stock in the locality.	DTS/DPF 10.2 None are applicable.

### Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

#### Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

A relevant authority may determine that a variation to 1 or more corresponding exclusions prescribed in Column B is minor in nature and does not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by: <ul style="list-style-type: none"> <li>(a) the South Australian Housing Trust either individually or jointly with other persons or bodies</li> <li>or</li> <li>(b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.</li> </ul>	Except development involving any of the following: <ul style="list-style-type: none"> <li>1. residential flat building(s) of 3 or more building levels</li> <li>2. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> <li>3. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</li> </ul>
3. Any development involving any of the following (or of any combination of any of the following):	Except development that:

<ul style="list-style-type: none"> <li>(a) ancillary accommodation</li> <li>(b) dwelling</li> <li>(c) dwelling addition</li> <li>(d) residential flat building.</li> </ul>	<ul style="list-style-type: none"> <li>1. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or</li> <li>2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ul> </li> </ul>
<p>4. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) consulting room</li> <li>(b) office</li> <li>(c) shop.</li> </ul>	<p>Except development that:</p> <ul style="list-style-type: none"> <li>1. does not satisfy Established Neighbourhood Zone DTS/DPF 1.2 or</li> <li>2. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or</li> <li>3. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ul> </li> </ul>
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) air handling unit, air conditioning system or exhaust fan</li> <li>(b) carport</li> <li>(c) deck</li> <li>(d) fence</li> <li>(e) internal building works</li> <li>(f) land division</li> <li>(g) outbuilding</li> <li>(h) pergola</li> <li>(i) private bushfire shelter</li> <li>(j) recreation area</li> <li>(k) replacement building</li> <li>(l) retaining wall</li> <li>(m) shade sail</li> </ul>	<p>None specified.</p>

<ul style="list-style-type: none"> <li>(n) solar photovoltaic panels (roof mounted)</li> <li>(o) swimming pool or spa pool and associated swimming pool safety features</li> <li>(p) temporary accommodation in an area affected by bushfire</li> <li>(q) tree damaging activity</li> <li>(r) verandah</li> <li>(s) water tank.</li> </ul>	
<p>6. Any development involving any of the following (or of any combination of any of the following) within the Tunnel Protection Overlay:</p> <ul style="list-style-type: none"> <li>(a) storage of materials, equipment or vehicles (whether temporary or permanent) over an area exceeding 100 square metres</li> <li>(b) temporary stockpiling of soil, gravel, rock or other natural material over an area exceeding 100 square metres</li> <li>(c) excavation or ground intruding activity at a depth greater than 2.5 metres below the regulated surface level.</li> </ul>	<p>Except where not undertaken by the Crown, a Council or an essential infrastructure provider.</p>
<p>7. Demolition.</p>	<p>Except any of the following:</p> <ul style="list-style-type: none"> <li>1. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> <li>2. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</li> </ul>
<p>8. Railway line.</p>	<p>Except where located outside of a rail corridor or rail reserve.</p>
<b>Placement of Notices - Exemptions for Performance Assessed Development</b>	
<p>None specified.</p>	
<b>Placement of Notices - Exemptions for Restricted Development</b>	
<p>None specified.</p>	

## Part 3 - Overlays

### Airport Building Heights (Regulated) Overlay

#### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Management of potential impacts of buildings and generated emissions to maintain operational and safety requirements of registered and certified commercial and military airfields, airports, airstrips and helicopter landing sites.

## Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 Building height does not pose a hazard to the operation of a certified or registered aerodrome.	DTS/DPF 1.1 Buildings are located outside the area identified as 'All structures' (no height limit is prescribed) and do not exceed the height specified in the Airport Building Heights (Regulated) Overlay which applies to the subject site as shown on the SA Property and Planning Atlas.  In instances where more than one value applies to the site, the lowest value relevant to the site of the proposed development is applicable.

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Any of the following classes of development:  (a) building located in an area identified as 'All structures' (no height limit is prescribed) or will exceed the height specified in the <i>Airport Building Heights (Regulated) Overlay</i>  (b) building comprising exhaust stacks that generates plumes, or may cause plumes to be generated, above a height specified in the <i>Airport Building Heights (Regulated) Overlay</i> .	The airport-operator company for the relevant airport within the meaning of the <i>Airports Act 1996</i> of the Commonwealth or, if there is no airport-operator company, the Secretary of the Minister responsible for the administration of the <i>Airports Act 1996</i> of the Commonwealth.	To provide expert assessment and direction to the relevant authority on potential impacts on the safety and operation of aviation activities.	Development of a class to which Schedule 9 clause 3 item 1 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

## Heritage Adjacency Overlay

## Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development adjacent to State and Local Heritage Places maintains the heritage and cultural values of those Places.

## Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 Development adjacent to a State or Local Heritage Place does	DTS/DPF 1.1 None are applicable.

not dominate, encroach on or unduly impact on the setting of the Place.	
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## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Development which in the opinion of the relevant authority materially affects the context within which the <b>State Heritage Place</b> is situated.	Minister responsible for the administration of the <i>Heritage Places Act 1993</i> .	To provide expert assessment and direction to the relevant authority on the potential impacts of development adjacent State Heritage Places.	Development of a class to which Schedule 9 clause 3 item 17 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

## Historic Area Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Historic themes and characteristics are reinforced through conservation and contextually responsive development, design and adaptive reuse that responds to existing coherent patterns of land division, site configuration, streetscapes, building siting and built scale, form and features as exhibited in the Historic Area and expressed in the Historic Area Statement.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
PO 1.1 All development is undertaken having consideration to the historic streetscapes and built form as expressed in the Historic Area Statement.	DTS/DPF 1.1 None are applicable.
Built Form	
PO 2.1 The form and scale of new buildings and structures that are visible from the public realm are consistent with the prevailing historic characteristics of the historic area.	DTS/DPF 2.1 None are applicable.

PO 2.2 Development is consistent with the prevailing building and wall heights in the historic area.	DTS/DPF 2.2 None are applicable.
PO 2.3 Design and architectural detailing of street-facing buildings (including but not limited to roof pitch and form, openings, chimneys and verandahs) complement the prevailing characteristics in the historic area.	DTS/DPF 2.3 None are applicable.
PO 2.4 Development is consistent with the prevailing front and side boundary setback pattern in the historic area.	DTS/DPF 2.4 None are applicable.
PO 2.5 Materials are either consistent with or complement those within the historic area.	DTS/DPF 2.5 None are applicable.
Context and Streetscape Amenity	
PO 6.1 The width of driveways and other vehicle access ways are consistent with the prevailing width of existing driveways of the historic area.	DTS/DPF 6.1 None are applicable.
PO 6.2 Development maintains the valued landscape patterns and characteristics that contribute to the historic area, except where they compromise safety, create nuisance, or impact adversely on buildings or infrastructure.	DTS/DPF 6.2 None are applicable.
Ruins	
PO 8.1 Development conserves and complements features and ruins associated with former activities of significance.	DTS/DPF 8.1 None are applicable.

## Historic Area Statements

Statement#	Statement		
<b>Historic Areas affecting City of Norwood, Payneham and St Peters</b>			
	<p><b>Norwood 5 Historic Area Statement (NPSP15)</b></p> <p>The Historic Area Overlay identifies localities that comprise characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.</p> <p>These attributes have been identified in the below table. In some cases State and / or Local Heritage Places within the locality contribute to the attributes of an Historic Area.</p> <p>The preparation of an Historic Impact Statement can assist in determining potential additional attributes of an Historic Area where these are not stated in the below table.</p> <table> <tr> <td>Eras, themes and context</td><td>1860 to 1920.</td></tr> </table>	Eras, themes and context	1860 to 1920.
Eras, themes and context	1860 to 1920.		

Statement#	Statement	
NPSP15		Range of dwelling types.
	Allotments, subdivision and built form patterns	<p>The consistency of the streetscapes of Willis and Colliver Streets, Montrose Avenue and the western side of Charles Street either side of the intersection with Montrose Avenue.</p> <p>Development of a more generous scale which fronts William Street.</p> <p>Overall topography relating to the alignment of First Creek through the area.</p>
	Architectural styles, detailing and built form features	<p>Single-fronted and double-fronted cottages, semi-detached cottages, other semi-detached dwellings, villas of various forms, and a mansion.</p> <p>Prominent remaining corner shop structures.</p>
	Building height	Up to two storeys.
	Materials	Bluestone or sandstone, often with the side and rear walls of brick or rubble, and incorporating hipped or gable-end roofs of corrugated iron together with verandahs typical of the era in which the respective buildings were constructed.
	Fencing	Generally low, reflecting the traditional period, style and form of the associated building.
	Setting, landscaping, streetscape and public realm features	<i>[Not stated]</i>
	Representative Buildings	<i>[Not identified]</i>

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Local Heritage Place Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development maintains the heritage and cultural values of Local Heritage Places through conservation, ongoing use and adaptive reuse.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 The form of new buildings and structures maintains the heritage values of the Local Heritage Place.	DTS/DPF 1.1 None are applicable.
PO 1.2 Massing, scale and siting of development maintains the heritage values of the Local Heritage Place.	DTS/DPF 1.2 None are applicable.
PO 1.3 Design and architectural detailing (including but not limited to roof pitch and form, openings, chimneys and verandahs) maintains the heritage values of the Local Heritage Place.	DTS/DPF 1.3 None are applicable.
PO 1.4 Development is consistent with boundary setbacks and setting.	DTS/DPF 1.4 None are applicable.
PO 1.5 Materials and colours are either consistent with or complement the heritage values of the Local Heritage Place.	DTS/DPF 1.5 None are applicable.
PO 1.6 New buildings and structures are not placed or erected between the primary or secondary street boundaries and the façade of a Local Heritage Place.	DTS/DPF 1.6 None are applicable.
PO 1.7 Development of a Local Heritage Place retains features contributing to its heritage value.	DTS/DPF 1.7 None are applicable.
Landscape Context and Streetscape Amenity	
PO 5.1 Individually heritage listed trees, parks, historic gardens and memorial avenues are retained unless:  (a) trees / plantings are, or have the potential to be, a danger to life or property or (b) trees / plantings are significantly diseased and their life expectancy is short.	DTS/DPF 5.1 None are applicable.
Conservation Works	
PO 7.1 Conservation works to the exterior of a Local Heritage Place (and other features identified in the extent of listing) match original materials to be repaired and utilise traditional work	DTS/DPF 7.1 None are applicable.

methods.	
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## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Stormwater Management Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development incorporates water sensitive urban design techniques to capture and re-use stormwater.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
<p>PO 1.1</p> <p>Residential development is designed to capture and re-use stormwater to:</p> <ul style="list-style-type: none"> <li>(a) maximise conservation of water resources</li> <li>(b) manage peak stormwater runoff flows and volume to ensure the carrying capacities of downstream systems are not overloaded</li> <li>(c) manage stormwater runoff quality.</li> </ul>	<p>DTS/DPF 1.1</p> <p>Residential development comprising detached, semi-detached or row dwellings, or less than 5 group dwellings or dwellings within a residential flat building:</p> <ul style="list-style-type: none"> <li>(a) includes rainwater tank storage: <ul style="list-style-type: none"> <li>(i) connected to at least: <ul style="list-style-type: none"> <li>A. in relation to a detached dwelling (not in a battle-axe arrangement), semi-detached dwelling or row dwelling, 60% of the roof area</li> <li>B. in all other cases, 80% of the roof area</li> </ul> </li> <li>(ii) connected to either a toilet, laundry cold water outlets or hot water service for sites less than 200m<sup>2</sup></li> <li>(iii) connected to one toilet and either the laundry cold water outlets or hot water service for sites of 200m<sup>2</sup> or greater</li> <li>(iv) with a minimum total capacity in accordance with Table 1</li> <li>(v) where detention is required, includes a 20-25 mm diameter slow release orifice at the bottom of the detention component of the tank</li> </ul> </li> <li>(b) incorporates dwelling roof area comprising at least 80% of the site's impervious area</li> </ul>

Table 1: Rainwater Tank

Site size (m <sup>2</sup> )	Minimum retention volume (Litres)	Minimum detention volume (Litres)
<200	1000	1000
200-400	2000	Site perviousness <30%: 1000 Site perviousness ≥30%: N/A
>401	4000	Site perviousness <35%: 1000 Site perviousness ≥35%: N/A

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Traffic Generating Development Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Safe and efficient operation of Urban Transport Routes and Major Urban Transport Routes for all road users.
DO 2	Provision of safe and efficient access to and from urban transport routes and major urban transport routes.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Traffic Generating Development	
PO 1.1 Development designed to minimise its potential impact on the safety, efficiency and functional performance of the State Maintained Road network.	DTS/DPF 1.1 Access is obtained directly from a State Maintained Road where it involves any of the following types of development:  (a) building, or buildings, containing in excess of 50 dwellings

	<ul style="list-style-type: none"> <li>(b) land division creating 50 or more additional allotments</li> <li>(c) commercial development with a gross floor area of 10,000m<sup>2</sup> or more</li> <li>(d) retail development with a gross floor area of 2,000m<sup>2</sup> or more</li> <li>(e) a warehouse or transport depot with a gross leasable floor area of 8,000m<sup>2</sup> or more</li> <li>(f) industry with a gross floor area of 20,000m<sup>2</sup> or more</li> <li>(g) educational facilities with a capacity of 250 students or more.</li> </ul>
<p>PO 1.2</p> <p>Access points sited and designed to accommodate the type and volume of traffic likely to be generated by development.</p>	<p>DTS/DPF 1.2</p> <p>Access is obtained directly from a State Maintained Road where it involves any of the following types of development:</p> <ul style="list-style-type: none"> <li>(a) building, or buildings, containing in excess of 50 dwellings</li> <li>(b) land division creating 50 or more additional allotments</li> <li>(c) commercial development with a gross floor area of 10,000m<sup>2</sup> or more</li> <li>(d) retail development with a gross floor area of 2,000m<sup>2</sup> or more</li> <li>(e) a warehouse or transport depot with a gross leasable floor area of 8,000m<sup>2</sup> or more</li> <li>(f) industry with a gross floor area of 20,000m<sup>2</sup> or more</li> <li>(g) educational facilities with a capacity of 250 students or more.</li> </ul>
<p>PO 1.3</p> <p>Sufficient accessible on-site queuing provided to meet the needs of the development so that queues do not impact on the State Maintained Road network.</p>	<p>DTS/DPF 1.3</p> <p>Access is obtained directly from a State Maintained Road where it involves any of the following types of development:</p> <ul style="list-style-type: none"> <li>(a) building, or buildings, containing in excess of 50 dwellings</li> <li>(b) land division creating 50 or more additional allotments</li> <li>(c) commercial development with a gross floor area of 10,000m<sup>2</sup> or more</li> <li>(d) retail development with a gross floor area of 2,000m<sup>2</sup> or more</li> <li>(e) a warehouse or transport depot with a gross leasable floor area of 8,000m<sup>2</sup> or more</li> <li>(f) industry with a gross floor area of 20,000m<sup>2</sup> or more</li> <li>(g) educational facilities with a capacity of 250 students or more.</li> </ul>

### Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Except where all of the relevant deemed-to-satisfy criteria are met, any of the following classes of development that are proposed within 250m of a	Commissioner of Highways.	To provide expert technical assessment and direction to the Relevant Authority on	Development of a class to which

State Maintained Road:		the safe and efficient operation and management of all roads relevant to the Commissioner of Highways as described in the Planning and Design Code.	Schedule 9 clause 3 item 7 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.
(a) except where a proposed development has previously been referred under clause (b) - a building, or buildings, containing in excess of 50 dwellings			
(b) except where a proposed development has previously been referred under clause (a) - land division creating 50 or more additional allotments			
(c) commercial development with a gross floor area of 10,000m <sup>2</sup> or more			
(d) retail development with a gross floor area of 2,000m <sup>2</sup> or more			
(e) a warehouse or transport depot with a gross leasable floor area of 8,000m <sup>2</sup> or more			
(f) industry with a gross floor area of 20,000m <sup>2</sup> or more			
(g) educational facilities with a capacity of 250 students or more.			

## Urban Tree Canopy Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Residential development preserves and enhances urban tree canopy through the planting of new trees and retention of existing mature trees where practicable.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature			
PO 1.1  Trees are planted or retained to contribute to an urban tree canopy.	DTS/DPF 1.1  Tree planting is provided in accordance with the following:			
	Site size per dwelling (m <sup>2</sup> )		Tree size* and number required per dwelling	
	<450		1 small tree	
	450-800		1 medium tree or 2 small trees	
	>800		1 large tree or 2 medium trees or 4 small trees	
	*refer Table 1 Tree Size			
	Table 1 Tree Size			
	Tree size	Mature height	Mature spread	Soil area around tree within

	(minimum)	(minimum)	development site (minimum)
Small	4 m	2m	10m <sup>2</sup> and min. dimension of 1.5m
Medium	6 m	4 m	30m <sup>2</sup> and min. dimension of 2m
Large	12 m	8m	60m <sup>2</sup> and min. dimension of 4m

The discount in Column D of Table 2 discounts the number of trees required to be planted in DTS/DPF 1.1 where existing tree(s) are retained on the subject land that meet the criteria in Columns A, B and C of Table 2, and are not a species identified in Regulation 3F(4)(b) of the Planning Development and Infrastructure (General) Regulations 2017.

Table 2 Tree Discounts			
Retained tree height (Column A)	Retained tree spread (Column B)	Retained soil area around tree within development site (Column C)	Discount applied (Column D)
4-6m	2-4m	10m <sup>2</sup> and min. dimension of 1.5m	2 small trees (or 1 medium tree)
6-12m	4-8m	30m <sup>2</sup> and min. dimension of 3m	2 medium trees (or 4 small trees)
>12m	>8m	60m <sup>2</sup> and min. dimension of 6m	2 large trees (or 4 medium trees, or 8 small trees)

Note: In order to satisfy DTS/DPF 1.1, payment may be made in accordance with a relevant off-set scheme established by the Minister under section 197 of the Planning, Development and Infrastructure Act 2016, provided the provisions and requirements of that scheme are satisfied. For the purposes of section 102(4) of the Planning, Development and Infrastructure Act 2016, an applicant may elect for any of the matters in DTS/DPF 1.1 to be reserved.

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Part 4 - General Development Policies

### Clearance from Overhead Powerlines

#### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.	DTS/DPF 1.1 One of the following is satisfied: <ul style="list-style-type: none"> <li>(a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i></li> <li>(b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.</li> </ul>

### Design in Urban Areas

#### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is: <ul style="list-style-type: none"> <li>(a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality</li> <li>(b) durable - fit for purpose, adaptable and long lasting</li> <li>(c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors</li> </ul>

- |  |                                                                                                                                                                                                                                                                            |
|--|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  | (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption. |
|--|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
On-site Waste Treatment Systems	
PO 6.1 Dedicated on-site effluent disposal areas do not include any areas to be used for, or could be reasonably foreseen to be used for, private open space, driveways or car parking.	DTS/DPF 6.1 Effluent disposal drainage areas do not: <ul style="list-style-type: none"> <li>(a) encroach within an area used as private open space or result in less private open space than that specified in Design in Urban Areas Table 1 - Private Open Space</li> <li>(b) use an area also used as a driveway</li> <li>(c) encroach within an area used for on-site car parking or result in less on-site car parking than that specified in Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements or Table 2 - Off-Street Car Parking Requirements in Designated Areas.</li> </ul>
Car parking appearance	
PO 7.1 Development facing the street is designed to minimise the negative impacts of any semi-basement and undercroft car parking on streetscapes through techniques such as: <ul style="list-style-type: none"> <li>(a) limiting protrusion above finished ground level</li> <li>(b) screening through appropriate planting, fencing and mounding</li> <li>(c) limiting the width of openings and integrating them into the building structure.</li> </ul>	DTS/DPF 7.1 None are applicable.
Earthworks and sloping land	
PO 8.1 Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.	DTS/DPF 8.1 Development does not involve any of the following: <ul style="list-style-type: none"> <li>(a) excavation exceeding a vertical height of 1m</li> <li>(b) filling exceeding a vertical height of 1m</li> <li>(c) a total combined excavation and filling vertical height of 2m or more.</li> </ul>
PO 8.2 Driveways and access tracks designed and constructed to allow safe and convenient access on sloping land.	DTS/DPF 8.2 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b): <ul style="list-style-type: none"> <li>(a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway</li> <li>(b) are constructed with an all-weather trafficable surface.</li> </ul>
PO 8.3 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8):	DTS/DPF 8.3 None are applicable.

<ul style="list-style-type: none"> <li>(a) do not contribute to the instability of embankments and cuttings</li> <li>(b) provide level transition areas for the safe movement of people and goods to and from the development</li> <li>(c) are designed to integrate with the natural topography of the land.</li> </ul>	
<p>PO 8.4</p> <p>Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on site drainage systems to minimise erosion.</p>	<p>DTS/DPF 8.4</p> <p>None are applicable.</p>
<p>PO 8.5</p> <p>Development does not occur on land at risk of landslip or increase the potential for landslip or land surface instability.</p>	<p>DTS/DPF 8.5</p> <p>None are applicable.</p>
Overlooking / Visual Privacy (low rise buildings)	
<p>PO 10.1</p> <p>Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.</p>	<p>DTS/DPF 10.1</p> <p>Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone:</p> <ul style="list-style-type: none"> <li>(a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm</li> <li>(b) have sill heights greater than or equal to 1.5m above finished floor level</li> <li>(c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.</li> </ul>
<p>PO 10.2</p> <p>Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones.</p>	<p>DTS/DPF 10.2</p> <p>One of the following is satisfied:</p> <ul style="list-style-type: none"> <li>(a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace</li> <li>or</li> <li>(b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of: <ul style="list-style-type: none"> <li>(i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land</li> <li>or</li> <li>(ii) 1.7m above finished floor level in all other cases</li> </ul> </li> </ul>
Site Facilities / Waste Storage (excluding low rise residential development)	
<p>PO 11.1</p> <p>Development provides a dedicated area for on-site collection and sorting of recyclable materials and refuse, green organic waste and wash bay facilities for the ongoing maintenance of bins that is adequate in size considering the number and nature of the activities they will serve and the frequency of collection.</p>	<p>DTS/DPF 11.1</p> <p>None are applicable.</p>

PO 11.2 Communal waste storage and collection areas are located, enclosed and designed to be screened from view from the public domain, open space and dwellings.	DTS/DPF 11.2 None are applicable.
PO 11.3 Communal waste storage and collection areas are designed to be well ventilated and located away from habitable rooms.	DTS/DPF 11.3 None are applicable.
PO 11.4 Communal waste storage and collection areas are designed to allow waste and recycling collection vehicles to enter and leave the site without reversing.	DTS/DPF 11.4 None are applicable.
PO 11.5 For mixed use developments, non-residential waste and recycling storage areas and access provide opportunities for on-site management of food waste through composting or other waste recovery as appropriate.	DTS/DPF 11.5 None are applicable.
All Development - Medium and High Rise	
External Appearance	
PO 12.1 Buildings positively contribute to the character of the local area by responding to local context.	DTS/DPF 12.1 None are applicable.
PO 12.2 Architectural detail at street level and a mixture of materials at lower building levels near the public interface are provided to reinforce a human scale.	DTS/DPF 12.2 None are applicable.
PO 12.3 Buildings are designed to reduce visual mass by breaking up building elevations into distinct elements.	DTS/DPF 12.3 None are applicable.
PO 12.4 Boundary walls visible from public land include visually interesting treatments to break up large blank elevations.	DTS/DPF 12.4 None are applicable.
PO 12.5 External materials and finishes are durable and age well to minimise ongoing maintenance requirements.	DTS/DPF 12.5 Buildings utilise a combination of the following external materials and finishes:  (a) masonry (b) natural stone (c) pre-finished materials that minimise staining, discolouring or deterioration.
PO 12.6 Street-facing building elevations are designed to provide attractive, high quality and pedestrian-friendly street frontages.	DTS/DPF 12.6 Building street frontages incorporate:  (a) active uses such as shops or offices (b) prominent entry areas for multi-storey buildings (where it is a common entry) (c) habitable rooms of dwellings (d) areas of communal public realm with public art or the like, where consistent with the zone and/or subzone provisions.
PO 12.7	DTS/DPF 12.7

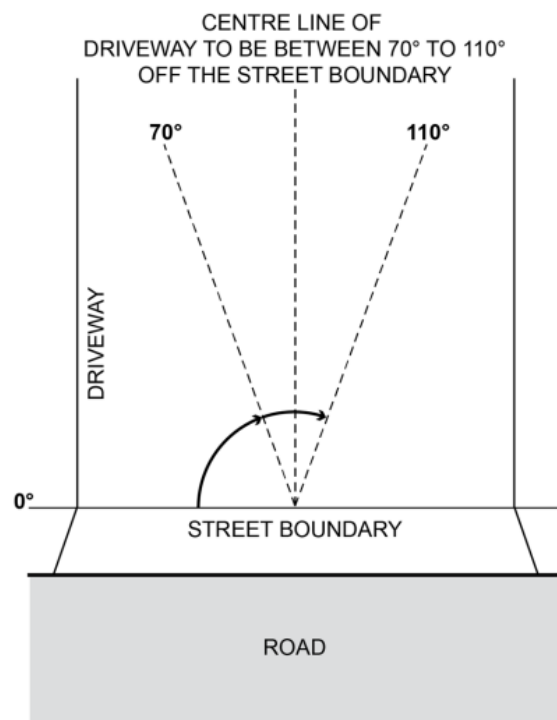
Entrances to multi-storey buildings are safe, attractive, welcoming, functional and contribute to streetscape character.	Entrances to multi-storey buildings are:  (a) oriented towards the street (b) clearly visible and easily identifiable from the street and vehicle parking areas (c) designed to be prominent, accentuated and a welcoming feature if there are no active or occupied ground floor uses (d) designed to provide shelter, a sense of personal address and transitional space around the entry (e) located as close as practicable to the lift and / or lobby access to minimise the need for long access corridors (f) designed to avoid the creation of potential areas of entrapment.			
PO 12.8 Building services, plant and mechanical equipment are screened from the public realm.	DTS/DPF 12.8 None are applicable.			
Landscaping				
PO 13.1 Development facing a street provides a well landscaped area that contains a deep soil space to accommodate a tree of a species and size adequate to provide shade, contribute to tree canopy targets and soften the appearance of buildings.	DTS/DPF 13.1 Buildings provide a 4m by 4m deep soil space in front of the building that accommodates a medium to large tree, except where no building setback from front property boundaries is desired.			
PO 13.2 Deep soil zones are provided to retain existing vegetation or provide areas that can accommodate new deep root vegetation, including tall trees with large canopies to provide shade and soften the appearance of multi-storey buildings.	DTS/DPF 13.2 Multi-storey development provides deep soil zones and incorporates trees at not less than the following rates, except in a location or zone where full site coverage is desired.			
	Site area	Minimum deep soil area	Minimum dimension	Tree / deep soil zones
	<300 m <sup>2</sup>	10 m <sup>2</sup>	1.5m	1 small tree / 10 m <sup>2</sup>
	300-1500 m <sup>2</sup>	7% site area	3m	1 medium tree / 30 m <sup>2</sup>
	>1500 m <sup>2</sup>	7% site area	6m	1 large or medium tree / 60 m <sup>2</sup>
	Tree size and site area definitions			
	Small tree	4-6m mature height and 2-4m canopy spread		
	Medium tree	6-12m mature height and 4-8m canopy spread		
Large tree	12m mature height and >8m canopy spread			
Site area	The total area for development site, not average area per dwelling			
PO 13.3	DTS/DPF 13.3			

Deep soil zones with access to natural light are provided to assist in maintaining vegetation health.	None are applicable.
<p>PO 13.4</p> <p>Unless separated by a public road or reserve, development sites adjacent to any zone that has a primary purpose of accommodating low-rise residential development incorporate a deep soil zone along the common boundary to enable medium to large trees to be retained or established to assist in screening new buildings of 3 or more building levels in height.</p>	<p>DTS/DPF 13.4</p> <p>Building elements of 3 or more building levels in height are set back at least 6m from a zone boundary in which a deep soil zone area is incorporated.</p>
Environmental	
<p>PO 14.1</p> <p>Development minimises detrimental micro-climatic impacts on adjacent land and buildings.</p>	<p>DTS/DPF 14.1</p> <p>None are applicable.</p>
<p>PO 14.2</p> <p>Development incorporates sustainable design techniques and features such as window orientation, eaves and shading structures, water harvesting and use, green walls and roof designs that enable the provision of rain water tanks (where they are not provided elsewhere on site), green roofs and photovoltaic cells.</p>	<p>DTS/DPF 14.2</p> <p>None are applicable.</p>
<p>PO 14.3</p> <p>Development of 5 or more building levels, or 21m or more in height (as measured from natural ground level and excluding roof-mounted mechanical plant and equipment) is designed to minimise the impacts of wind through measures such as:</p> <ul style="list-style-type: none"> <li>(a) a podium at the base of a tall tower and aligned with the street to deflect wind away from the street</li> <li>(b) substantial verandahs around a building to deflect downward travelling wind flows over pedestrian areas</li> <li>(c) the placement of buildings and use of setbacks to deflect the wind at ground level</li> <li>(d) avoiding tall shear elevations that create windy conditions at street level.</li> </ul>	<p>DTS/DPF 14.3</p> <p>None are applicable.</p>
Overlooking/Visual Privacy	
<p>PO 16.1</p> <p>Development mitigates direct overlooking of habitable rooms and private open spaces of adjacent residential uses in neighbourhood-type zones through measures such as:</p> <ul style="list-style-type: none"> <li>(a) appropriate site layout and building orientation</li> <li>(b) off-setting the location of balconies and windows of habitable rooms or areas with those of other buildings so that views are oblique rather than direct to avoid direct line of sight</li> <li>(c) building setbacks from boundaries (including building boundary to boundary where appropriate) that interrupt views or that provide a spatial separation between balconies or windows of habitable rooms</li> <li>(d) screening devices that are integrated into the building design and have minimal negative effect on residents' or neighbours' amenity.</li> </ul>	<p>DTS/DPF 16.1</p> <p>None are applicable.</p>

All residential development	
Front elevations and passive surveillance	
PO 17.1 Dwellings incorporate windows facing primary street frontages to encourage passive surveillance and make a positive contribution to the streetscape.	DTS/DPF 17.1 Each dwelling with a frontage to a public street:  (a) includes at least one window facing the primary street from a habitable room that has a minimum internal room dimension of 2.4m  (b) has an aggregate window area of at least 2m <sup>2</sup> facing the primary street.
PO 17.2 Dwellings incorporate entry doors within street frontages to address the street and provide a legible entry point for visitors.	DTS/DPF 17.2 Dwellings with a frontage to a public street have an entry door visible from the primary street boundary.
Outlook and Amenity	
PO 18.1 Living rooms have an external outlook to provide a high standard of amenity for occupants.	DTS/DPF 18.1 A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.
PO 18.2 Bedrooms are separated or shielded from active communal recreation areas, common access areas and vehicle parking areas and access ways to mitigate noise and artificial light intrusion.	DTS/DPF 18.2 None are applicable.
Residential Development - Low Rise	
External appearance	
PO 20.1 Garaging is designed to not detract from the streetscape or appearance of a dwelling.	DTS/DPF 20.1 Garages and carports facing a street:  (a) are situated so that no part of the garage or carport will be in front of any part of the building line of the dwelling  (b) are set back at least 5.5m from the boundary of the primary street  (c) have a garage door / opening width not exceeding 7m  (d) have a garage door / opening width not exceeding 50% of the site frontage unless the dwelling has two or more building levels at the building line fronting the same public street.
PO 20.2 Dwelling elevations facing public streets and common driveways make a positive contribution to the streetscape and the appearance of common driveway areas.	DTS/DPF 20.2 Each dwelling includes at least 3 of the following design features within the building elevation facing a primary street, and at least 2 of the following design features within the building elevation facing any other public road (other than a laneway) or a common driveway:  (a) a minimum of 30% of the building wall is set back an additional 300mm from the building line  (b) a porch or portico projects at least 1m from the building wall  (c) a balcony projects from the building wall

	<p>(d) a verandah projects at least 1m from the building wall</p> <p>(e) eaves of a minimum 400mm width extend along the width of the front elevation</p> <p>(f) a minimum 30% of the width of the upper level projects forward from the lower level primary building line by at least 300mm</p> <p>(g) a minimum of two different materials or finishes are incorporated on the walls of the front building elevation, with a maximum of 80% of the building elevation in a single material or finish.</p>										
<p>PO 20.3</p> <p>The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.</p>	<p>DTS/DPF 20.3</p> <p>None are applicable</p>										
Private Open Space											
<p>PO 21.1</p> <p>Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.</p>	<p>DTS/DPF 21.1</p> <p>Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.</p>										
<p>PO 21.2</p> <p>Private open space is positioned to provide convenient access from internal living areas.</p>	<p>DTS/DPF 21.2</p> <p>Private open space is directly accessible from a habitable room.</p>										
Landscaping											
<p>PO 22.1</p> <p>Soft landscaping is incorporated into development to:</p> <p>(a) minimise heat absorption and reflection</p> <p>(b) contribute shade and shelter</p> <p>(c) provide for stormwater infiltration and biodiversity</p> <p>(d) enhance the appearance of land and streetscapes.</p>	<p>DTS/DPF 22.1</p> <p>Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):</p> <p>(a) a total area for the entire development site, including any common property, as determined by the following table:</p> <table border="1"> <thead> <tr> <th>Site area (or in the case of residential flat building or group dwelling(s), average site area) (m<sup>2</sup>)</th><th>Minimum percentage of site</th></tr> </thead> <tbody> <tr> <td>&lt;150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>&gt;200-450</td><td>20%</td></tr> <tr> <td>&gt;450</td><td>25%</td></tr> </tbody> </table> <p>(b) at least 30% of any land between the primary street boundary and the primary building line.</p>	Site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%	>450	25%
Site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site										
<150	10%										
150-200	15%										
>200-450	20%										
>450	25%										
Car parking, access and manoeuvrability											

<p>PO 23.1</p> <p>Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.1</p> <p>Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):</p> <ul style="list-style-type: none"> <li>(a) single width car parking spaces: <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m per space</li> <li>(ii) a minimum width of 3.0m</li> <li>(iii) a minimum garage door width of 2.4m</li> </ul> </li> <li>(b) double width car parking spaces (side by side): <ul style="list-style-type: none"> <li>(i) a minimum length of 5.4m</li> <li>(ii) a minimum width of 5.4m</li> <li>(iii) minimum garage door width of 2.4m per space.</li> </ul> </li> </ul>
<p>PO 23.2</p> <p>Uncovered car parking space are of dimensions to be functional, accessible and convenient.</p>	<p>DTS/DPF 23.2</p> <p>Uncovered car parking spaces have:</p> <ul style="list-style-type: none"> <li>(a) a minimum length of 5.4m</li> <li>(b) a minimum width of 2.4m</li> <li>(c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.</li> </ul>
<p>PO 23.3</p> <p>Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, pedestrian movement, domestic waste collection, landscaped street frontages and on-street parking.</p>	<p>DTS/DPF 23.3</p> <p>Driveways and access points satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site</li> <li>(b) sites with a frontage to a public road greater than 10m: <ul style="list-style-type: none"> <li>(i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site;</li> <li>(ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.</li> </ul> </li> </ul>
<p>PO 23.4</p> <p>Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.</p>	<p>DTS/DPF 23.4</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land</li> <li>(b) where newly proposed, is set back: <ul style="list-style-type: none"> <li>(i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner</li> <li>(ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance</li> <li>(iii) 6m or more from the tangent point of an intersection of 2 or more roads</li> </ul> </li> </ul>

	(iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.
<p>PO 23.5</p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p>DTS/DPF 23.5</p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> <li>(a) the gradient of the driveway does not exceed a grade of 1 in 4 and includes transitions to ensure a maximum grade change of 12.5% (1 in 8) for summit changes, and 15% (1 in 6.7) for sag changes, in accordance with AS 2890.1:2004 to prevent vehicles bottoming or scraping</li> <li>(b) the centreline of the driveway has an angle of no less than 70 degrees and no more than 110 degrees from the street boundary to which it takes its access as shown in the following diagram:</li> </ul>  <ul style="list-style-type: none"> <li>(c) if located to provide access from an alley, lane or right of way - the alley, land or right of way is at least 6.2m wide along the boundary of the allotment / site.</li> </ul>
<p>PO 23.6</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 23.6</p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <ul style="list-style-type: none"> <li>(a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)</li> <li>(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly</li> <li>(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</li> </ul>
Waste storage	
<p>PO 24.1</p> <p>Provision is made for the convenient storage of waste bins in a</p>	<p>DTS/DPF 24.1</p> <p>Where dwellings abut both side boundaries a waste bin storage</p>

location screened from public view.	<p>area is provided behind the building line of each dwelling that:</p> <ul style="list-style-type: none"> <li>(a) has a minimum area of 2m<sup>2</sup> with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and</li> <li>(b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.</li> </ul>
Design of Transportable Buildings	
<p>PO 25.1</p> <p>The sub-floor space beneath transportable buildings is enclosed to give the appearance of a permanent structure.</p>	<p>DTS/DPF 25.1</p> <p>Buildings satisfy (a) or (b):</p> <ul style="list-style-type: none"> <li>(a) are not transportable</li> <li>(b) the sub-floor space between the building and ground level is clad in a material and finish consistent with the building.</li> </ul>
Residential Development - Medium and High Rise (including serviced apartments)	
Outlook and Visual Privacy	
<p>PO 26.1</p> <p>Ground level dwellings have a satisfactory short range visual outlook to public, communal or private open space.</p>	<p>DTS/DPF 26.1</p> <p>Buildings:</p> <ul style="list-style-type: none"> <li>(a) provide a habitable room at ground or first level with a window facing toward the street</li> <li>(b) limit the height / extent of solid walls or fences facing the street to 1.2m high above the footpath level or, where higher, to 50% of the site frontage.</li> </ul>
<p>PO 26.2</p> <p>The visual privacy of ground level dwellings within multi-level buildings is protected.</p>	<p>DTS/DPF 26.2</p> <p>The finished floor level of ground level dwellings in multi-storey developments is raised by up to 1.2m.</p>
Private Open Space	
<p>PO 27.1</p> <p>Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.</p>	<p>DTS/DPF 27.1</p> <p>Private open space provided in accordance with Design in Urban Areas Table 1 - Private Open Space.</p>
Residential amenity in multi-level buildings	
<p>PO 28.1</p> <p>Residential accommodation within multi-level buildings have habitable rooms, windows and balconies designed and positioned to be separated from those of other dwellings and accommodation to provide visual and acoustic privacy and allow for natural ventilation and the infiltration of daylight into interior and outdoor spaces.</p>	<p>DTS/DPF 28.1</p> <p>Habitable rooms and balconies of independent dwellings and accommodation are separated by at least 6m from one another where there is a direct line of sight between them and 3m or more from a side or rear property boundary.</p>
<p>PO 28.2</p> <p>Balconies are designed, positioned and integrated into the overall architectural form and detail of the development to:</p>	<p>DTS/DPF 28.2</p> <p>Balconies utilise one or a combination of the following design elements:</p>

<p>(a) respond to daylight, wind, and acoustic conditions to maximise comfort and provide visual privacy</p> <p>(b) allow views and casual surveillance of the street while providing for safety and visual privacy of nearby living spaces and private outdoor areas.</p>	<p>(a) sun screens</p> <p>(b) pergolas</p> <p>(c) louvres</p> <p>(d) green facades</p> <p>(e) openable walls.</p>
<p>PO 28.3</p> <p>Balconies are of sufficient size and depth to accommodate outdoor seating and promote indoor / outdoor living.</p>	<p>DTS/DPF 28.3</p> <p>Balconies open directly from a habitable room and incorporate a minimum dimension of 2m.</p>
<p>PO 28.4</p> <p>Dwellings are provided with sufficient space for storage to meet likely occupant needs.</p>	<p>DTS/DPF 28.4</p> <p>Dwellings (not including student accommodation or serviced apartments) are provided with storage at the following rates with at least 50% or more of the storage volume to be provided within the dwelling:</p> <p>(a) studio: not less than 6m<sup>3</sup></p> <p>(b) 1 bedroom dwelling / apartment: not less than 8m<sup>3</sup></p> <p>(c) 2 bedroom dwelling / apartment: not less than 10m<sup>3</sup></p> <p>(d) 3+ bedroom dwelling / apartment: not less than 12m<sup>3</sup>.</p>
<p>PO 28.5</p> <p>Dwellings that use light wells for access to daylight, outlook and ventilation for habitable rooms, are designed to ensure a reasonable living amenity is provided.</p>	<p>DTS/DPF 28.5</p> <p>Light wells:</p> <p>(a) are not used as the primary source of outlook for living rooms</p> <p>(b) up to 18m in height have a minimum horizontal dimension of 3m, or 6m if overlooked by bedrooms</p> <p>(c) above 18m in height have a minimum horizontal dimension of 6m, or 9m if overlooked by bedrooms.</p>
<p>PO 28.6</p> <p>Attached or abutting dwellings are designed to minimise the transmission of sound between dwellings and, in particular, to protect bedrooms from possible noise intrusions.</p>	<p>DTS/DPF 28.6</p> <p>None are applicable.</p>
<p>PO 28.7</p> <p>Dwellings are designed so that internal structural columns correspond with the position of internal walls to ensure that the space within the dwelling/apartment is useable.</p>	<p>DTS/DPF 28.7</p> <p>None are applicable.</p>
Dwelling Configuration	
<p>PO 29.1</p> <p>Buildings containing in excess of 10 dwellings provide a variety of dwelling sizes and a range in the number of bedrooms per dwelling to contribute to housing diversity.</p>	<p>DTS/DPF 29.1</p> <p>Buildings containing in excess of 10 dwellings provide at least one of each of the following:</p> <p>(a) studio (where there is no separate bedroom)</p> <p>(b) 1 bedroom dwelling / apartment with a floor area of at least 50m<sup>2</sup></p> <p>(c) 2 bedroom dwelling / apartment with a floor area of at least 65m<sup>2</sup></p> <p>(d) 3+ bedroom dwelling / apartment with a floor area of at least 80m<sup>2</sup>, and any dwelling over 3 bedrooms provides an additional 15m<sup>2</sup> for every additional bedroom.</p>

PO 29.2 Dwellings located on the ground floor of multi-level buildings with 3 or more bedrooms have the windows of their habitable rooms overlooking internal courtyard space or other public space, where possible.	DTS/DPF 29.2 None are applicable.										
Common Areas											
PO 30.1 The size of lifts, lobbies and corridors is sufficient to accommodate movement of bicycles, strollers, mobility aids and visitor waiting areas.	DTS/DPF 30.1 Common corridor or circulation areas: <ul style="list-style-type: none"> <li>(a) have a minimum ceiling height of 2.7m</li> <li>(b) provide access to no more than 8 dwellings</li> <li>(c) incorporate a wider section at apartment entries where the corridors exceed 12m in length from a core.</li> </ul>										
Group Dwellings, Residential Flat Buildings and Battle axe Development											
Amenity											
PO 31.1 Dwellings are of a suitable size to provide a high standard of amenity for occupants.	DTS/DPF 31.1 Dwellings have a minimum internal floor area in accordance with the following table: <table border="1"> <thead> <tr> <th>Number of bedrooms</th><th>Minimum internal floor area</th></tr> </thead> <tbody> <tr> <td>Studio</td><td>35m<sup>2</sup></td></tr> <tr> <td>1 bedroom</td><td>50m<sup>2</sup></td></tr> <tr> <td>2 bedroom</td><td>65m<sup>2</sup></td></tr> <tr> <td>3+ bedrooms</td><td>80m<sup>2</sup> and any dwelling over 3 bedrooms provides an additional 15m<sup>2</sup> for every additional bedroom</td></tr> </tbody> </table>	Number of bedrooms	Minimum internal floor area	Studio	35m <sup>2</sup>	1 bedroom	50m <sup>2</sup>	2 bedroom	65m <sup>2</sup>	3+ bedrooms	80m <sup>2</sup> and any dwelling over 3 bedrooms provides an additional 15m <sup>2</sup> for every additional bedroom
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3+ bedrooms	80m <sup>2</sup> and any dwelling over 3 bedrooms provides an additional 15m <sup>2</sup> for every additional bedroom										
PO 31.2 The orientation and siting of buildings minimises impacts on the amenity, outlook and privacy of occupants and neighbours.	DTS/DPF 31.2 None are applicable.										
PO 31.3 Development maximises the number of dwellings that face public open space and public streets and limits dwellings oriented towards adjoining properties.	DTS/DPF 31.3 None are applicable.										
PO 31.4 Battle-axe development is appropriately sited and designed to respond to the existing neighbourhood context.	DTS/DPF 31.4 Dwelling sites/allotments are not in the form of a battle-axe arrangement.										
Communal Open Space											
DTS/DPF 32.5 None are applicable.	PO 32.1 Private open space provision may be substituted for communal open space which is designed and sited to meet the recreation and amenity needs of residents.										
DTS/DPF 32.1	PO 32.2										

None are applicable.	Communal open space is of sufficient size and dimensions to cater for group recreation.
DTS/DPF 32.2 Communal open space incorporates a minimum dimension of 5 metres.	PO 32.3 Communal open space is designed and sited to: <ul style="list-style-type: none"> <li>(a) be conveniently accessed by the dwellings which it services</li> <li>(b) have regard to acoustic, safety, security and wind effects.</li> </ul>
DTS/DPF 32.3 None are applicable.	PO 32.4 Communal open space contains landscaping and facilities that are functional, attractive and encourage recreational use.
DTS/DPF 32.4 None are applicable.	PO 32.5 Communal open space is designed and sited to: <ul style="list-style-type: none"> <li>(a) in relation to rooftop or elevated gardens, minimise overlooking into habitable room windows or onto the useable private open space of other dwellings</li> <li>(b) in relation to ground floor communal space, be overlooked by habitable rooms to facilitate passive surveillance.</li> </ul>
Car parking, access and manoeuvrability	
PO 33.1 Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.	DTS/DPF 33.1 Where on-street parking is available directly adjacent the site, on-street parking is retained adjacent the subject site in accordance with the following requirements: <ul style="list-style-type: none"> <li>(a) minimum 0.33 on-street car parks per proposed dwelling (rounded up to the nearest whole number)</li> <li>(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly</li> <li>(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</li> </ul>
PO 33.2 The number of vehicular access points onto public roads is minimised to reduce interruption of the footpath and positively contribute to public safety and walkability.	DTS/DPF 33.2 Access to group dwellings or dwellings within a residential flat building is provided via a single common driveway.
PO 33.3 Residential driveways that service more than one dwelling are designed to allow safe and convenient movement.	DTS/DPF 33.3 Driveways that service more than 1 dwelling or a dwelling on a battle-axe site: <ul style="list-style-type: none"> <li>(a) have a minimum width of 3m</li> <li>(b) for driveways servicing more than 3 dwellings: <ul style="list-style-type: none"> <li>(i) have a width of 5.5m or more and a length of 6m or more at the kerb of the primary street</li> <li>(ii) where the driveway length exceeds 30m, incorporate a passing point at least every 30 metres with a minimum width of 5.5m and a minimum length of 6m.</li> </ul> </li> </ul>
PO 33.4	DTS/DPF 33.4

Residential driveways that service more than one dwelling or a dwelling on a battle-axe site are designed to allow passenger vehicles to enter and exit and manoeuvre within the site in a safe and convenient manner.	Driveways providing access to more than one dwelling, or a dwelling on a battle-axe site, allow a B85 passenger vehicle to enter and exit the garages or parking spaces in no more than a three-point turn manoeuvre.
PO 33.5 Dwellings are adequately separated from common driveways and manoeuvring areas.	DTS/DPF 33.5 Dwelling walls with entry doors or ground level habitable room windows are set back at least 1.5m from any driveway or area designated for the movement and manoeuvring of vehicles.
Soft landscaping	
PO 34.1 Soft landscaping is provided between dwellings and common driveways to improve the outlook for occupants and appearance of common areas.	DTS/DPF 34.1 Other than where located directly in front of a garage or building entry, soft landscaping with a minimum dimension of 1m is provided between a dwelling and common driveway.
PO 34.2 Battle-axe or common driveways incorporate landscaping and permeability to improve appearance and assist in stormwater management.	DTS/DPF 34.2 Battle-axe or common driveways satisfy (a) and (b):  (a) are constructed of a minimum of 50% permeable or porous material (b) where the driveway is located directly adjacent the side or rear boundary of the site, soft landscaping with a minimum dimension of 1m is provided between the driveway and site boundary (excluding along the perimeter of a passing point).
Site Facilities / Waste Storage	
PO 35.1 Provision is made for suitable mailbox facilities close to the major pedestrian entry to the site or conveniently located considering the nature of accommodation and mobility of occupants.	DTS/DPF 35.1 None are applicable.
PO 35.2 Provision is made for suitable external clothes drying facilities.	DTS/DPF 35.2 None are applicable.
PO 35.3 Provision is made for suitable household waste and recyclable material storage facilities which are:  (a) located away, or screened, from public view, and (b) conveniently located in proximity to dwellings and the waste collection point.	DTS/DPF 35.3 None are applicable.
PO 35.4 Waste and recyclable material storage areas are located away from dwellings.	DTS/DPF 35.4 Dedicated waste and recyclable material storage areas are located at least 3m from any habitable room window.
PO 35.5 Where waste bins cannot be conveniently collected from the street, provision is made for on-site waste collection, designed to accommodate the safe and convenient access, egress and movement of waste collection vehicles.	DTS/DPF 35.5 None are applicable.
PO 35.6	DTS/DPF 35.6

Services including gas and water meters are conveniently located and screened from public view.	None are applicable.
Water sensitive urban design	
PO 36.1 Residential development creating a common driveway / access includes stormwater management systems that minimise the discharge of sediment, suspended solids, organic matter, nutrients, bacteria, litter and other contaminants to the stormwater system, watercourses or other water bodies.	DTS/DPF 36.1 None are applicable.
PO 36.2 Residential development creating a common driveway / access includes a stormwater management system designed to mitigate peak flows and manage the rate and duration of stormwater discharges from the site to ensure that the development does not increase the peak flows in downstream systems.	DTS/DPF 36.2 None are applicable.
Laneway Development	
Infrastructure and Access	
PO 44.1 Development with a primary street comprising a laneway, alley, lane, right of way or similar minor thoroughfare only occurs where: <ul style="list-style-type: none"> <li>(a) existing utility infrastructure and services are capable of accommodating the development</li> <li>(b) the primary street can support access by emergency and regular service vehicles (such as waste collection)</li> <li>(c) it does not require the provision or upgrading of infrastructure on public land (such as footpaths and stormwater management systems)</li> <li>(d) safety of pedestrians or vehicle movement is maintained</li> <li>(e) any necessary grade transition is accommodated within the site of the development to support an appropriate development intensity and orderly development of land fronting minor thoroughfares.</li> </ul>	DTS/DPF 44.1 Development with a primary street frontage that is not an alley, lane, right of way or similar public thoroughfare.

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		<p>Total private open space area:</p> <ul style="list-style-type: none"> <li>(a) Site area &lt;301m<sup>2</sup>: 24m<sup>2</sup> located behind the building line.</li> <li>(b) Site area ≥ 301m<sup>2</sup>: 60m<sup>2</sup> located behind the building line.</li> </ul> <p>Minimum directly accessible from a living room: 16m<sup>2</sup> / with a minimum dimension 3m.</p>

Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m <sup>2</sup> , which may be used as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m <sup>2</sup> / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m <sup>2</sup> / minimum dimension 1.8m
	One bedroom dwelling	8m <sup>2</sup> / minimum dimension 2.1m
	Two bedroom dwelling	11m <sup>2</sup> / minimum dimension 2.4m
	Three + bedroom dwelling	15 m <sup>2</sup> / minimum dimension 2.6m

## Infrastructure and Renewable Energy Facilities

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Water Supply	
PO 11.2 Dwellings are connected to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the intended use. Where this is not available an appropriate rainwater tank or storage system for domestic use is provided.	DTS/DPF 11.2 A dwelling is connected, or will be connected, to a reticulated water scheme or mains water supply with the capacity to meet the requirements of the development. Where this is not available it is serviced by a rainwater tank or tanks capable of holding at least 50,000 litres of water which is:  (a) exclusively for domestic use (b) connected to the roof drainage system of the dwelling.
Wastewater Services	
PO 12.1 Development is connected to an approved common wastewater disposal service with the capacity to meet the requirements of the intended use. Where this is not available an appropriate on-site service is provided to meet the ongoing requirements of the intended use in accordance with the	DTS/DPF 12.1 Development is connected, or will be connected, to an approved common wastewater disposal service with the capacity to meet the requirements of the development. Where this is not available it is instead capable of being serviced by an on-site waste water treatment system in accordance with the

<p>following:</p> <ul style="list-style-type: none"> <li>(a) it is wholly located and contained within the allotment of the development it will service</li> <li>(b) in areas where there is a high risk of contamination of surface, ground, or marine water resources from on-site disposal of liquid wastes, disposal systems are included to minimise the risk of pollution to those water resources</li> <li>(c) septic tank effluent drainage fields and other wastewater disposal areas are located away from watercourses and flood prone, sloping, saline or poorly drained land to minimise environmental harm.</li> </ul>	<p>following:</p> <ul style="list-style-type: none"> <li>(a) the system is wholly located and contained within the allotment of development it will service; and</li> <li>(b) the system will comply with the requirements of the South Australian Public Health Act 2011.</li> </ul>
<p>PO 12.2</p> <p>Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.</p>	<p>DTS/DPF 12.2</p> <p>Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.</p>

## Interface between Land Uses

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Overshadowing	
<p>PO 3.1</p> <p>Overshadowing of habitable room windows of adjacent residential land uses in:</p> <ul style="list-style-type: none"> <li>a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight</li> <li>b. other zones is managed to enable access to direct winter sunlight.</li> </ul>	<p>DTS/DPF 3.1</p> <p>North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.</p>
<p>PO 3.2</p> <p>Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in:</p> <ul style="list-style-type: none"> <li>a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight</li> <li>b. other zones is managed to enable access to direct winter sunlight.</li> </ul>	<p>DTS/DPF 3.2</p> <p>Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a neighbourhood-type zone in accordance with the following:</p> <ul style="list-style-type: none"> <li>a. for ground level private open space, the smaller of the following: <ul style="list-style-type: none"> <li>i. half the existing ground level open space</li> </ul> </li> </ul> <p>or</p>

	ii. 35m <sup>2</sup> of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m) b. for ground level communal open space, at least half of the existing ground level open space.
PO 3.3 Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account: <ul style="list-style-type: none"> <li>(a) the form of development contemplated in the zone</li> <li>(b) the orientation of the solar energy facilities</li> <li>(c) the extent to which the solar energy facilities are already overshadowed.</li> </ul>	DTS/DPF 3.3 None are applicable.

## Site Contamination

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Ensure land is suitable for the proposed use in circumstances where it is, or may have been, subject to site contamination.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Ensure land is suitable for use when land use changes to a more sensitive use.	DTS/DPF 1.1 Development satisfies (a), (b), (c) or (d): <ul style="list-style-type: none"> <li>(a) does not involve a change in the use of land</li> <li>(b) involves a change in the use of land that does not constitute a change to a more sensitive use</li> <li>(c) involves a change in the use of land to a more sensitive use on land at which site contamination is unlikely to exist (as demonstrated in a site contamination declaration form)</li> <li>(d) involves a change in the use of land to a more sensitive use on land at which site contamination exists, or may exist (as demonstrated in a site contamination declaration form), and satisfies both of the following:             <ul style="list-style-type: none"> <li>(i) a site contamination audit report has been prepared under Part 10A of the <i>Environment Protection Act 1993</i> in relation to the land within the previous 5 years which states that-                 <ul style="list-style-type: none"> <li>A. site contamination does not exist (or no longer exists) at the land</li> <li>or</li> <li>B. the land is suitable for the proposed use or range of uses (without the need for any further remediation)</li> </ul> </li> </ul> </li> </ul>

	<p>or</p> <p>C. where remediation is, or remains, necessary for the proposed use (or range of uses), remediation work has been carried out or will be carried out (and the applicant has provided a written undertaking that the remediation works will be implemented in association with the development)</p> <p>and</p> <p>(ii) no other class 1 activity or class 2 activity has taken place at the land since the preparation of the site contamination audit report (as demonstrated in a site contamination declaration form).</p>
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## Transport, Access and Parking

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Vehicle Access	
<p>PO 3.1</p> <p>Safe and convenient access minimises impact or interruption on the operation of public roads.</p>	<p>DTS/DPF 3.1</p> <p>The access is:</p> <p>(a) provided via a lawfully existing or authorised driveway or access point or an access point for which consent has been granted as part of an application for the division of land</p> <p>or</p> <p>(b) not located within 6m of an intersection of 2 or more roads or a pedestrian activated crossing.</p>
<p>PO 3.5</p> <p>Access points are located so as not to interfere with street trees, existing street furniture (including directional signs, lighting, seating and weather shelters) or infrastructure services to maintain the appearance of the streetscape, preserve local amenity and minimise disruption to utility infrastructure assets.</p>	<p>DTS/DPF 3.5</p> <p>Vehicle access to designated car parking spaces satisfy (a) or (b):</p> <p>(a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land</p> <p>(b) where newly proposed, is set back:</p> <p>(i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner</p>

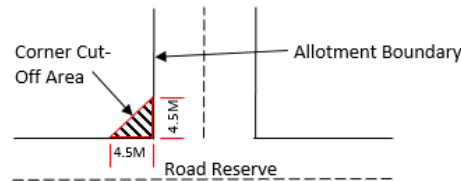
	<ul style="list-style-type: none"> <li>(ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance</li> <li>(iii) 6m or more from the tangent point of an intersection of 2 or more roads</li> <li>(iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.</li> </ul>
Vehicle Parking Rates	
<p>PO 5.1</p> <p>Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as:</p> <ul style="list-style-type: none"> <li>(a) availability of on-street car parking</li> <li>(b) shared use of other parking areas</li> <li>(c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared</li> <li>(d) the adaptive reuse of a State or Local Heritage Place.</li> </ul>	<p>DTS/DPF 5.1</p> <p>Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p> <ul style="list-style-type: none"> <li>(a) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas if the development is a class of development listed in Table 2 and the site is in a Designated Area</li> <li>(b) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements where (a) does not apply</li> <li>(c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.</li> </ul>
Corner Cut-Offs	
<p>PO 10.1</p> <p>Development is located and designed to ensure drivers can safely turn into and out of public road junctions.</p>	<p>DTS/DPF 10.1</p> <p>Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p> 

Table 1 - General Off-Street Car Parking Requirements

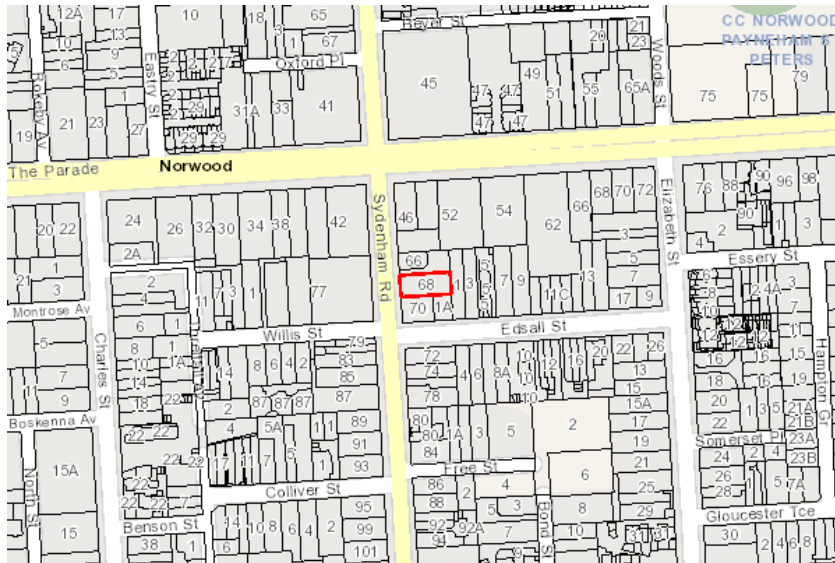
Class of Development	Car Parking Rate (unless varied by Table 2 onwards)
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.
Residential Development	
Group Dwelling	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> <p>0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.</p>

Table 2 - Off-Street Car Parking Requirements in Designated Areas

Class of Development	Car Parking Rate		Designated Areas
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.		
	Minimum number of spaces	Maximum number of spaces	
Development generally			
All classes of development	No minimum.	No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is:	Capital City Zone
			City Main Street Zone
			City Riverbank Zone
		1 space for each dwelling with a total floor area less than 75 square metres	Adelaide Park Lands Zone
		2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres	Business Neighbourhood Zone (within the City of Adelaide)
		3 spaces for each dwelling with a total floor area greater than 150 square metres.	The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone
	Residential flat building or Residential component of a multi-storey building: 1 visitor space for each 6 dwellings.		

Address: 68 SYDENHAM RD NORWOOD SA 5067

To view a detailed interactive property map in SAPPA click on the map below



### Property Zoning Details

#### Zone

Established Neighbourhood

#### Overlay

Airport Building Heights (Regulated) (*All structures over 45 metres*)  
 Historic Area (*NPSP15*)  
 Heritage Adjacency  
 Local Heritage Place (*5915*)  
 Prescribed Wells Area  
 Regulated and Significant Tree  
 Stormwater Management  
 Traffic Generating Development  
 Urban Tree Canopy

#### Local Variation (TNV)

Minimum Site Area (*Minimum site area is 200 sqm*)  
 Maximum Building Height (Levels) (*Maximum building height is 2 levels*)

### Selected Development(s)

Dwelling addition

**This development may be subject to multiple assessment pathways. Please review the document below to determine which pathway may be applicable based on the proposed development compliances to standards. If no assessment pathway is shown this mean the proposed development will default to performance assessed. Please contact your local council in this instance. Refer to Part 1 - Rules of Interpretation - Determination of Classes of Development**

Dwelling addition - Code Assessed - Performance Assessed

## Part 2 - Zones and Sub Zones

## Established Neighbourhood Zone

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development patterns.
DO 2	Maintain the predominant streetscape character, having regard to key features such as roadside plantings, footpaths, front yards, and space between crossovers.

Performance Outcomes (PO) and Deemed to Satisfy (DTS) / Designated Performance Feature (DPF) Criteria

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature		
Site coverage			
<p>PO 3.1</p> <p>Building footprints are consistent with the character and pattern of the neighbourhood and provide sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.</p>	<p>DTS/DPF 3.1</p> <p>Development does not result in site coverage exceeding:</p> <p>In instances where:</p> <ul style="list-style-type: none"><li>(a) no value is returned (i.e. there is a blank field), then a maximum 50% site coverage applies</li><li>(b) more than one value is returned in the same field, refer to the Site Coverage Technical and Numeric Variation layer in the SA planning database to determine the applicable value relevant to the site of the proposed development.</li></ul>		
Building Height			
<p>PO 4.1</p> <p>Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings.</p>	<p>DTS/DPF 4.1</p> <p>Building height (excluding garages, carports and outbuildings) is no greater than:</p> <ul style="list-style-type: none"><li>(a) the following:</li></ul> <table><tr><th>Maximum Building Height (Levels)</th></tr><tr><td>Maximum building height is 2 levels</td></tr></table> <ul style="list-style-type: none"><li>(b) in all other cases (i.e. there are blank fields for both maximum building height (metres) and maximum building height (levels)) - 2 building levels up to a height of 9m.</li></ul> <p>In relation to DTS/DPF 4.1, in instances where:</p> <ul style="list-style-type: none"><li>(c) more than one value is returned in the same field, refer to the <i>Maximum Building Height (Levels) Technical and Numeric Variation layer or Maximum Building Height (Meters) Technical and Numeric Variation layer</i> in the SA planning database to determine the applicable value relevant to the site of the proposed development.</li></ul>	Maximum Building Height (Levels)	Maximum building height is 2 levels
Maximum Building Height (Levels)			
Maximum building height is 2 levels			

	(d) only one value is returned for DTS/DPF 4.1(a) (i.e. there is one blank field), then the relevant height in metres or building levels applies with no criteria for the other.
<p>PO 4.2</p> <p>Additions and alterations do not adversely impact on the streetscape character.</p>	<p>DTS/DPF 4.2</p> <p>Additions and alterations:</p> <p>(a) are fully contained within the roof space of a building with no external alterations made to the building elevation facing the primary street</p> <p>or</p> <p>(b) meet all of the following:</p> <p>(i) do not include any development forward of the front façade building line</p> <p>(ii) where including a second or subsequent building level addition, does not project beyond a 45 degree angle measured from ground level at the building line of the existing building.</p>
Secondary Street Setback	
<p>PO 6.1</p> <p>Buildings are set back from secondary street boundaries (not being a rear laneway) to maintain the established pattern of separation between buildings and public streets and reinforce streetscape character.</p>	<p>DTS/DPF 6.1</p> <p>Building walls are set back from the secondary street boundary (other than a rear laneway):</p> <p>(a) no less than:</p> <p>or</p> <p>(b) 900mm, whichever is greater</p> <p>or</p> <p>(c) if a building (except for ancillary buildings and structures) on any adjoining allotment is closer to the secondary street, not less than the distance of that building from the boundary with the secondary street.</p> <p>In instances where no value is returned in DTS/DPF 6.1(a) (i.e. there is a blank field), then it is taken that the value for DTS/DPF 6.1(a) is zero.</p>
Boundary Walls	
<p>PO 7.1</p> <p>Walls on boundaries are limited in height and length to manage visual and overshadowing impacts on adjoining properties.</p>	<p>DTS/DPF 7.1</p> <p>Dwellings do not incorporate side boundary walls where a side boundary setback value is returned in (a) below:</p> <p>(a)</p> <p>or</p> <p>(b) where no side boundary setback value is returned in (a) above, and except where the building is a dwelling and is located on a central site within a row dwelling or terrace arrangement, side boundary walls occur only on one side boundary and satisfy (i) or (ii) below:</p>

	<ul style="list-style-type: none"> <li>(i) side boundary walls adjoin or abut a boundary wall of a building on adjoining land for the same or lesser length and height</li> <li>(ii) side boundary walls do not: <ul style="list-style-type: none"> <li>A. exceed 3.2m in wall height from the lower of the natural or finished ground level</li> <li>B. exceed 8m in length</li> <li>C. when combined with other walls on the boundary of the subject development site, exceed a maximum 45% of the length of the boundary</li> <li>D. encroach within 3m of any other existing or proposed boundary walls on the subject land.</li> </ul> </li> </ul>
<p>PO 7.2</p> <p>Dwellings in a semi-detached, row or terrace arrangement maintain space between buildings consistent with a low density suburban streetscape character.</p>	<p>DTS/DPF 7.2</p> <p>Dwellings in a semi-detached, row or terrace arrangement are setback from side boundaries shared with allotments outside the development site at least the minimum distance identified in Established Neighbourhood Zone DTS/DPF 8.1.</p>
Side Boundary Setback	
<p>PO 8.1</p> <p>Buildings are set back from side boundaries to provide:</p> <ul style="list-style-type: none"> <li>(a) separation between buildings in a way that complements the established character of the locality</li> <li>(b) access to natural light and ventilation for neighbours.</li> </ul>	<p>DTS/DPF 8.1</p> <p>Other than walls located on a side boundary in accordance with Established Neighbourhood Zone DTS/DPF 7.1, building walls are set back from the side boundary:</p> <ul style="list-style-type: none"> <li>(a) no less than:</li> <li>(b) in all other cases (i.e., there is a blank field), then: <ul style="list-style-type: none"> <li>(i) where the wall height does not exceed 3m measured from the lower of natural or finished ground level - at least 900mm</li> <li>(ii) for a wall that is not south facing and the wall height exceeds 3m measured from the lower of natural or finished ground level - at least 900mm from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the lower of natural or finished ground level</li> <li>(iii) for a wall that is south facing and the wall height exceeds 3m measured from the lower of natural or finished ground level - at least 1.9m from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the lower of natural or finished ground level.</li> </ul> </li> </ul>
Rear Boundary Setback	
<p>PO 9.1</p> <p>Buildings are set back from rear boundaries to provide:</p>	<p>DTS/DPF 9.1</p> <p>Other than in relation to an access lane way, buildings are set</p>

<ul style="list-style-type: none"> <li>(a) separation between buildings in a way that complements the established character of the locality</li> <li>(b) access to natural light and ventilation for neighbours</li> <li>(c) private open space</li> <li>(d) space for landscaping and vegetation.</li> </ul>	back from the rear boundary at least: <ul style="list-style-type: none"> <li>(a) 4m for the first building level</li> <li>(b) 6m for any second building level.</li> </ul>
Appearance	
PO 10.1 Garages and carports are designed and sited to be discreet and not dominate the appearance of the associated dwelling when viewed from the street.	DTS/DPF 10.1 Garages and carports facing a street (other than an access lane way): <ul style="list-style-type: none"> <li>(a) are set back at least 0.5m behind the building line of the associated dwelling</li> <li>(b) are set back at least 5.5m from the boundary of the primary street</li> <li>(c) have a total garage door / opening width not exceeding 30% of the allotment or site frontage, to a maximum width of 7m.</li> </ul>
PO 10.2 The appearance of development as viewed from public roads is sympathetic to the wall height, roof forms and roof pitches of the predominant housing stock in the locality.	DTS/DPF 10.2 None are applicable.

## Table 5 - Procedural Matters (PM) - Notification

The following table identifies, pursuant to section 107(6) of the *Planning, Development and Infrastructure Act 2016*, classes of performance assessed development that are excluded from notification. The table also identifies any exemptions to the placement of notices when notification is required.

### Interpretation

Notification tables exclude the classes of development listed in Column A from notification provided that they do not fall within a corresponding exclusion prescribed in Column B.

Where a development or an element of a development falls within more than one class of development listed in Column A, it will be excluded from notification if it is excluded (in its entirety) under any of those classes of development. It need not be excluded under all applicable classes of development.

Where a development involves multiple performance assessed elements, all performance assessed elements will require notification (regardless of whether one or more elements are excluded in the applicable notification table) unless every performance assessed element of the application is excluded in the applicable notification table, in which case the application will not require notification.

A relevant authority may determine that a variation to 1 or more corresponding exclusions prescribed in Column B is minor in nature and does not require notification.

Class of Development (Column A)	Exceptions (Column B)
1. Development which, in the opinion of the relevant authority, is of a minor nature only and will not unreasonably impact on the owners or occupiers of land in the locality of the site of the development.	None specified.
2. All development undertaken by:	Except development involving any of the following:

<ul style="list-style-type: none"> <li>(a) the South Australian Housing Trust either individually or jointly with other persons or bodies</li> <li>(b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.</li> </ul>	<ul style="list-style-type: none"> <li>1. residential flat building(s) of 3 or more building levels</li> <li>2. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> <li>3. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</li> </ul>
<p>3. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) ancillary accommodation</li> <li>(b) dwelling</li> <li>(c) dwelling addition</li> <li>(d) residential flat building.</li> </ul>	<p>Except development that:</p> <ul style="list-style-type: none"> <li>1. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or</li> <li>2. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ul> </li> </ul>
<p>4. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) consulting room</li> <li>(b) office</li> <li>(c) shop.</li> </ul>	<p>Except development that:</p> <ul style="list-style-type: none"> <li>1. does not satisfy Established Neighbourhood Zone DTS/DPF 1.2 or</li> <li>2. exceeds the maximum building height specified in Established Neighbourhood Zone DTS/DPF 4.1 or</li> <li>3. involves a building wall (or structure) that is proposed to be situated on (or abut) an allotment boundary (not being a boundary with a primary street or secondary street or an excluded boundary) and: <ul style="list-style-type: none"> <li>(a) the length of the proposed wall (or structure) exceeds 8m (other than where the proposed wall abuts an existing wall or structure of greater length on the adjoining allotment) or</li> <li>(b) the height of the proposed wall (or post height) exceeds 3.2m measured from the lower of the natural or finished ground level (other than where the proposed wall abuts an existing wall or structure of greater height on the adjoining allotment).</li> </ul> </li> </ul>
<p>5. Any development involving any of the following (or of any combination of any of the following):</p> <ul style="list-style-type: none"> <li>(a) air handling unit, air conditioning system or exhaust fan</li> <li>(b) carport</li> </ul>	<p>None specified.</p>

<ul style="list-style-type: none"> <li>(c) deck</li> <li>(d) fence</li> <li>(e) internal building works</li> <li>(f) land division</li> <li>(g) outbuilding</li> <li>(h) pergola</li> <li>(i) private bushfire shelter</li> <li>(j) recreation area</li> <li>(k) replacement building</li> <li>(l) retaining wall</li> <li>(m) shade sail</li> <li>(n) solar photovoltaic panels (roof mounted)</li> <li>(o) swimming pool or spa pool and associated swimming pool safety features</li> <li>(p) temporary accommodation in an area affected by bushfire</li> <li>(q) tree damaging activity</li> <li>(r) verandah</li> <li>(s) water tank.</li> </ul>	
<p>6. Any development involving any of the following (or of any combination of any of the following) within the Tunnel Protection Overlay:</p> <ul style="list-style-type: none"> <li>(a) storage of materials, equipment or vehicles (whether temporary or permanent) over an area exceeding 100 square metres</li> <li>(b) temporary stockpiling of soil, gravel, rock or other natural material over an area exceeding 100 square metres</li> <li>(c) excavation or ground intruding activity at a depth greater than 2.5 metres below the regulated surface level.</li> </ul>	Except where not undertaken by the Crown, a Council or an essential infrastructure provider.
<p>7. Demolition.</p>	<p>Except any of the following:</p> <ul style="list-style-type: none"> <li>1. the demolition (or partial demolition) of a State or Local Heritage Place (other than an excluded building)</li> <li>2. the demolition (or partial demolition) of a building in a Historic Area Overlay (other than an excluded building).</li> </ul>
<p>8. Railway line.</p>	Except where located outside of a rail corridor or rail reserve.
<b>Placement of Notices - Exemptions for Performance Assessed Development</b>	
None specified.	
<b>Placement of Notices - Exemptions for Restricted Development</b>	
None specified.	

## Part 3 - Overlays

### Airport Building Heights (Regulated) Overlay

## Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Management of potential impacts of buildings and generated emissions to maintain operational and safety requirements of registered and certified commercial and military airfields, airports, airstrips and helicopter landing sites.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 Building height does not pose a hazard to the operation of a certified or registered aerodrome.	DTS/DPF 1.1 Buildings are located outside the area identified as 'All structures' (no height limit is prescribed) and do not exceed the height specified in the Airport Building Heights (Regulated) Overlay which applies to the subject site as shown on the SA Property and Planning Atlas.  In instances where more than one value applies to the site, the lowest value relevant to the site of the proposed development is applicable.

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Any of the following classes of development:  (a) building located in an area identified as 'All structures' (no height limit is prescribed) or will exceed the height specified in the <i>Airport Building Heights (Regulated) Overlay</i>  (b) building comprising exhaust stacks that generates plumes, or may cause plumes to be generated, above a height specified in the <i>Airport Building Heights (Regulated) Overlay</i> .	The airport-operator company for the relevant airport within the meaning of the <i>Airports Act 1996</i> of the Commonwealth or, if there is no airport-operator company, the Secretary of the Minister responsible for the administration of the <i>Airports Act 1996</i> of the Commonwealth.	To provide expert assessment and direction to the relevant authority on potential impacts on the safety and operation of aviation activities.	Development of a class to which Schedule 9 clause 3 item 1 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

## Heritage Adjacency Overlay

## Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development adjacent to State and Local Heritage Places maintains the heritage and cultural values of those Places.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 Development adjacent to a State or Local Heritage Place does not dominate, encroach on or unduly impact on the setting of the Place.	DTS/DPF 1.1 None are applicable.

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
Development which in the opinion of the relevant authority materially affects the context within which the <b>State Heritage Place</b> is situated.	Minister responsible for the administration of the <i>Heritage Places Act 1993</i> .	To provide expert assessment and direction to the relevant authority on the potential impacts of development adjacent State Heritage Places.	Development of a class to which Schedule 9 clause 3 item 17 of the Planning, Development and Infrastructure (General) Regulations 2017 applies.

## Historic Area Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Historic themes and characteristics are reinforced through conservation and contextually responsive development, design and adaptive reuse that responds to existing coherent patterns of land division, site configuration, streetscapes, building siting and built scale, form and features as exhibited in the Historic Area and expressed in the Historic Area Statement.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
PO 1.1 All development is undertaken having consideration to the historic streetscapes and built form as expressed in the Historic Area Statement.	DTS/DPF 1.1 None are applicable.
Built Form	
PO 2.1 The form and scale of new buildings and structures that are visible from the public realm are consistent with the prevailing historic characteristics of the historic area.	DTS/DPF 2.1 None are applicable.
PO 2.2 Development is consistent with the prevailing building and wall heights in the historic area.	DTS/DPF 2.2 None are applicable.
PO 2.3 Design and architectural detailing of street-facing buildings (including but not limited to roof pitch and form, openings, chimneys and verandahs) complement the prevailing characteristics in the historic area.	DTS/DPF 2.3 None are applicable.
PO 2.4 Development is consistent with the prevailing front and side boundary setback pattern in the historic area.	DTS/DPF 2.4 None are applicable.
PO 2.5 Materials are either consistent with or complement those within the historic area.	DTS/DPF 2.5 None are applicable.
Alterations and additions	
PO 3.1 Alterations and additions complement the subject building, employ a contextual design approach and are sited to ensure they do not dominate the primary façade.	DTS/DPF 3.1 Alterations and additions are fully contained within the roof space of an existing building with no external alterations made to the building elevation facing the primary street.
PO 3.2 Adaptive reuse and revitalisation of buildings to support retention consistent with the Historic Area Statement.	DTS/DPF 3.2 None are applicable.
Context and Streetscape Amenity	
PO 6.1 The width of driveways and other vehicle access ways are consistent with the prevailing width of existing driveways of the historic area.	DTS/DPF 6.1 None are applicable.
PO 6.2 Development maintains the valued landscape patterns and characteristics that contribute to the historic area, except where they compromise safety, create nuisance, or impact adversely on buildings or infrastructure.	DTS/DPF 6.2 None are applicable.

Ruins	
PO 8.1 Development conserves and complements features and ruins associated with former activities of significance.	DTS/DPF 8.1 None are applicable.

## Historic Area Statements

Statement#	Statement	
Historic Areas affecting City of Norwood, Payneham and St Peters		
NPSP15	<b>Norwood 5 Historic Area Statement (NPSP15)</b>	
	The Historic Area Overlay identifies localities that comprise characteristics of an identifiable historic, economic and / or social theme of recognised importance. They can comprise land divisions, development patterns, built form characteristics and natural features that provide a legible connection to the historic development of a locality.	
	These attributes have been identified in the below table. In some cases State and / or Local Heritage Places within the locality contribute to the attributes of an Historic Area.	
	The preparation of an Historic Impact Statement can assist in determining potential additional attributes of an Historic Area where these are not stated in the below table.	
	Eras, themes and context	1860 to 1920.  Range of dwelling types.
	Allotments, subdivision and built form patterns	The consistency of the streetscapes of Willis and Colliver Streets, Montrose Avenue and the western side of Charles Street either side of the intersection with Montrose Avenue.  Development of a more generous scale which fronts William Street.  Overall topography relating to the alignment of First Creek through the area.
	Architectural styles, detailing and built form features	Single-fronted and double-fronted cottages, semi-detached cottages, other semi-detached dwellings, villas of various forms, and a mansion.  Prominent remaining corner shop structures.
	Building height	Up to two storeys.
	Materials	Bluestone or sandstone, often with the side and rear walls of brick or rubble, and incorporating hipped or gable-end roofs of corrugated iron together with verandahs typical of the era in which the respective buildings were constructed.
Fencing	Generally low, reflecting the traditional period, style and form of the associated building.	
Setting, landscaping, streetscape and public realm features	[Not stated]	

Statement#	Statement	
	Representative Buildings	[Not identified]

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Local Heritage Place Overlay

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development maintains the heritage and cultural values of Local Heritage Places through conservation, ongoing use and adaptive reuse.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Built Form	
PO 1.1 The form of new buildings and structures maintains the heritage values of the Local Heritage Place.	DTS/DPF 1.1 None are applicable.
PO 1.2 Massing, scale and siting of development maintains the heritage values of the Local Heritage Place.	DTS/DPF 1.2 None are applicable.
PO 1.3 Design and architectural detailing (including but not limited to roof pitch and form, openings, chimneys and verandahs) maintains the heritage values of the Local Heritage Place.	DTS/DPF 1.3 None are applicable.
PO 1.4 Development is consistent with boundary setbacks and setting.	DTS/DPF 1.4 None are applicable.
PO 1.5 Materials and colours are either consistent with or complement the heritage values of the Local Heritage Place.	DTS/DPF 1.5 None are applicable.

PO 1.6 New buildings and structures are not placed or erected between the primary or secondary street boundaries and the façade of a Local Heritage Place.	DTS/DPF 1.6 None are applicable.
PO 1.7 Development of a Local Heritage Place retains features contributing to its heritage value.	DTS/DPF 1.7 None are applicable.
Alterations and Additions	
PO 2.1 Alterations and additions complement the subject building and are sited to be unobtrusive, not conceal or obstruct heritage elements and detailing, or dominate the Local Heritage Place or its setting.	DTS/DPF 2.1 None are applicable.
PO 2.2 Adaptive reuse and revitalisation of Local Heritage Places to support their retention in a manner that respects and references the original use of the Local Heritage Place.	DTS/DPF 2.2 None are applicable.
Landscape Context and Streetscape Amenity	
PO 5.1 Individually heritage listed trees, parks, historic gardens and memorial avenues are retained unless:  (a) trees / plantings are, or have the potential to be, a danger to life or property or (b) trees / plantings are significantly diseased and their life expectancy is short.	DTS/DPF 5.1 None are applicable.
Conservation Works	
PO 7.1 Conservation works to the exterior of a Local Heritage Place (and other features identified in the extent of listing) match original materials to be repaired and utilise traditional work methods.	DTS/DPF 7.1 None are applicable.

## Procedural Matters (PM) - Referrals

The following table identifies classes of development / activities that require referral in this Overlay and the applicable referral body. It sets out the purpose of the referral as well as the relevant statutory reference from Schedule 9 of the Planning, Development and Infrastructure (General) Regulations 2017.

Class of Development / Activity	Referral Body	Purpose of Referral	Statutory Reference
None	None	None	None

## Part 4 - General Development Policies

## Clearance from Overhead Powerlines

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Protection of human health and safety when undertaking development in the vicinity of overhead transmission powerlines.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
PO 1.1 Buildings are adequately separated from aboveground powerlines to minimise potential hazard to people and property.	DTS/DPF 1.1 One of the following is satisfied:  (a) a declaration is provided by or on behalf of the applicant to the effect that the proposal would not be contrary to the regulations prescribed for the purposes of section 86 of the <i>Electricity Act 1996</i>  (b) there are no aboveground powerlines adjoining the site that are the subject of the proposed development.

## Design in Urban Areas

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is:  (a) contextual - by considering, recognising and carefully responding to its natural surroundings or built environment and positively contributing to the character of the locality (b) durable - fit for purpose, adaptable and long lasting (c) inclusive - by integrating landscape design to optimise pedestrian and cyclist usability, privacy and equitable access and promoting the provision of quality spaces integrated with the public realm that can be used for access and recreation and help optimise security and safety both internally and within the public realm, for occupants and visitors (d) sustainable - by integrating sustainable techniques into the design and siting of development and landscaping to improve community health, urban heat, water management, environmental performance, biodiversity and local amenity and to minimise energy consumption.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
All Development	
Earthworks and sloping land	
PO 8.1	DTS/DPF 8.1

Development, including any associated driveways and access tracks, minimises the need for earthworks to limit disturbance to natural topography.	Development does not involve any of the following: <ul style="list-style-type: none"> <li>(a) excavation exceeding a vertical height of 1m</li> <li>(b) filling exceeding a vertical height of 1m</li> <li>(c) a total combined excavation and filling vertical height of 2m or more.</li> </ul>
PO 8.2 Driveways and access tracks designed and constructed to allow safe and convenient access on sloping land.	DTS/DPF 8.2 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8) satisfy (a) and (b): <ul style="list-style-type: none"> <li>(a) do not have a gradient exceeding 25% (1-in-4) at any point along the driveway</li> <li>(b) are constructed with an all-weather trafficable surface.</li> </ul>
PO 8.3 Driveways and access tracks on sloping land (with a gradient exceeding 1 in 8): <ul style="list-style-type: none"> <li>(a) do not contribute to the instability of embankments and cuttings</li> <li>(b) provide level transition areas for the safe movement of people and goods to and from the development</li> <li>(c) are designed to integrate with the natural topography of the land.</li> </ul>	DTS/DPF 8.3 None are applicable.
PO 8.4 Development on sloping land (with a gradient exceeding 1 in 8) avoids the alteration of natural drainage lines and includes on site drainage systems to minimise erosion.	DTS/DPF 8.4 None are applicable.
PO 8.5 Development does not occur on land at risk of landslip or increase the potential for landslip or land surface instability.	DTS/DPF 8.5 None are applicable.
Overlooking / Visual Privacy (low rise buildings)	
PO 10.1 Development mitigates direct overlooking from upper level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.	DTS/DPF 10.1 Upper level windows facing side or rear boundaries shared with a residential use in a neighbourhood-type zone: <ul style="list-style-type: none"> <li>(a) are permanently obscured to a height of 1.5m above finished floor level and are fixed or not capable of being opened more than 125mm</li> <li>(b) have sill heights greater than or equal to 1.5m above finished floor level</li> <li>(c) incorporate screening with a maximum of 25% openings, permanently fixed no more than 500mm from the window surface and sited adjacent to any part of the window less than 1.5 m above the finished floor level.</li> </ul>
PO 10.2 Development mitigates direct overlooking from balconies to habitable rooms and private open space of adjoining residential uses in neighbourhood type zones.	DTS/DPF 10.2 One of the following is satisfied: <ul style="list-style-type: none"> <li>(a) the longest side of the balcony or terrace will face a public road, public road reserve or public reserve that is at least 15m wide in all places faced by the balcony or terrace</li> </ul>

	<p>or</p> <p>(b) all sides of balconies or terraces on upper building levels are permanently obscured by screening with a maximum 25% transparency/openings fixed to a minimum height of:</p> <p>(i) 1.5m above finished floor level where the balcony is located at least 15 metres from the nearest habitable window of a dwelling on adjacent land</p> <p>or</p> <p>(ii) 1.7m above finished floor level in all other cases</p>								
All residential development									
Outlook and Amenity									
<p>PO 18.1</p> <p>Living rooms have an external outlook to provide a high standard of amenity for occupants.</p>	<p>DTS/DPF 18.1</p> <p>A living room of a dwelling incorporates a window with an external outlook of the street frontage, private open space, public open space, or waterfront areas.</p>								
Residential Development - Low Rise									
External appearance									
<p>PO 20.3</p> <p>The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.</p>	<p>DTS/DPF 20.3</p> <p>None are applicable</p>								
Private Open Space									
<p>PO 21.1</p> <p>Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.</p>	<p>DTS/DPF 21.1</p> <p>Private open space is provided in accordance with Design in Urban Areas Table 1 - Private Open Space.</p>								
<p>PO 21.2</p> <p>Private open space is positioned to provide convenient access from internal living areas.</p>	<p>DTS/DPF 21.2</p> <p>Private open space is directly accessible from a habitable room.</p>								
Landscaping									
<p>PO 22.1</p> <p>Soft landscaping is incorporated into development to:</p> <p>(a) minimise heat absorption and reflection</p> <p>(b) contribute shade and shelter</p> <p>(c) provide for stormwater infiltration and biodiversity</p> <p>(d) enhance the appearance of land and streetscapes.</p>	<p>DTS/DPF 22.1</p> <p>Residential development incorporates soft landscaping with a minimum dimension of 700mm provided in accordance with (a) and (b):</p> <p>(a) a total area for the entire development site, including any common property, as determined by the following table:</p> <table border="1"> <thead> <tr> <th>Site area (or in the case of residential flat building or group dwelling(s), average site area) (m<sup>2</sup>)</th><th>Minimum percentage of site</th></tr> </thead> <tbody> <tr> <td>&lt;150</td><td>10%</td></tr> <tr> <td>150-200</td><td>15%</td></tr> <tr> <td>&gt;200-450</td><td>20%</td></tr> </tbody> </table>	Site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site	<150	10%	150-200	15%	>200-450	20%
Site area (or in the case of residential flat building or group dwelling(s), average site area) (m <sup>2</sup> )	Minimum percentage of site								
<150	10%								
150-200	15%								
>200-450	20%								

		>450	25%
	(b)	at least 30% of any land between the primary street boundary and the primary building line.	
Car parking, access and manoeuvrability			
PO 23.1 Enclosed car parking spaces are of dimensions to be functional, accessible and convenient.	DTS/DPF 23.1 Residential car parking spaces enclosed by fencing, walls or other structures have the following internal dimensions (separate from any waste storage area):  (a) single width car parking spaces: (i) a minimum length of 5.4m per space (ii) a minimum width of 3.0m (iii) a minimum garage door width of 2.4m  (b) double width car parking spaces (side by side): (i) a minimum length of 5.4m (ii) a minimum width of 5.4m (iii) minimum garage door width of 2.4m per space.		
PO 23.2 Uncovered car parking space are of dimensions to be functional, accessible and convenient.	DTS/DPF 23.2 Uncovered car parking spaces have:  (a) a minimum length of 5.4m (b) a minimum width of 2.4m (c) a minimum width between the centre line of the space and any fence, wall or other obstruction of 1.5m.		
PO 23.3 Driveways and access points are located and designed to facilitate safe access and egress while maximising land available for street tree planting, pedestrian movement, domestic waste collection, landscaped street frontages and on-street parking.	DTS/DPF 23.3 Driveways and access points satisfy (a) or (b):  (a) sites with a frontage to a public road of 10m or less, have a width between 3.0 and 3.2 metres measured at the property boundary and are the only access point provided on the site  (b) sites with a frontage to a public road greater than 10m: (i) have a maximum width of 5m measured at the property boundary and are the only access point provided on the site; (ii) have a width between 3.0 metres and 3.2 metres measured at the property boundary and no more than two access points are provided on site, separated by no less than 1m.		
PO 23.4 Vehicle access is safe, convenient, minimises interruption to the operation of public roads and does not interfere with street infrastructure or street trees.	DTS/DPF 23.4 Vehicle access to designated car parking spaces satisfy (a) or (b):  (a) is provided via a lawfully existing or authorised access point or an access point for which consent has been granted as part of an application for the division of land  (b) where newly proposed, is set back:		

	<ul style="list-style-type: none"> <li>(i) 0.5m or more from any street furniture, street pole, infrastructure services pit, or other stormwater or utility infrastructure unless consent is provided from the asset owner</li> <li>(ii) 2m or more from the base of the trunk of a street tree unless consent is provided from the tree owner for a lesser distance</li> <li>(iii) 6m or more from the tangent point of an intersection of 2 or more roads</li> <li>(iv) outside of the marked lines or infrastructure dedicating a pedestrian crossing.</li> </ul>
<p>PO 23.5</p> <p>Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.</p>	<p>DTS/DPF 23.5</p> <p>Driveways are designed and sited so that:</p> <ul style="list-style-type: none"> <li>(a) the gradient of the driveway does not exceed a grade of 1 in 4 and includes transitions to ensure a maximum grade change of 12.5% (1 in 8) for summit changes, and 15% (1 in 6.7) for sag changes, in accordance with AS 2890.1:2004 to prevent vehicles bottoming or scraping</li> <li>(b) the centreline of the driveway has an angle of no less than 70 degrees and no more than 110 degrees from the street boundary to which it takes its access as shown in the following diagram:</li> </ul> <div data-bbox="922 949 1497 1666" data-label="Diagram"> <p style="text-align: center;">CENTRE LINE OF DRIVEWAY TO BE BETWEEN 70° TO 110° OFF THE STREET BOUNDARY</p> <p style="text-align: center;">70° 110°</p> <p style="text-align: center;">DRIVEWAY</p> <p style="text-align: center;">0°</p> <p style="text-align: center;">STREET BOUNDARY</p> <p style="text-align: center;">ROAD</p> </div> <ul style="list-style-type: none"> <li>(c) if located to provide access from an alley, lane or right of way - the alley, land or right of way is at least 6.2m wide along the boundary of the allotment / site.</li> </ul>
<p>PO 23.6</p> <p>Driveways and access points are designed and distributed to optimise the provision of on-street visitor parking.</p>	<p>DTS/DPF 23.6</p> <p>Where on-street parking is available abutting the site's street frontage, on-street parking is retained in accordance with the following requirements:</p> <ul style="list-style-type: none"> <li>(a) minimum 0.33 on-street spaces per dwelling on the site (rounded up to the nearest whole number)</li> </ul>

	<ul style="list-style-type: none"> <li>(b) minimum car park length of 5.4m where a vehicle can enter or exit a space directly</li> <li>(c) minimum carpark length of 6m for an intermediate space located between two other parking spaces or to an end obstruction where the parking is indented.</li> </ul>
Waste storage	
PO 24.1 Provision is made for the convenient storage of waste bins in a location screened from public view.	DTS/DPF 24.1 Where dwellings abut both side boundaries a waste bin storage area is provided behind the building line of each dwelling that: <ul style="list-style-type: none"> <li>(a) has a minimum area of 2m<sup>2</sup> with a minimum dimension of 900mm (separate from any designated car parking spaces or private open space); and</li> <li>(b) has a continuous unobstructed path of travel (excluding moveable objects like gates, vehicles and roller doors) with a minimum width of 800mm between the waste bin storage area and the street.</li> </ul>

Table 1 - Private Open Space

Dwelling Type	Dwelling / Site Configuration	Minimum Rate
Dwelling (at ground level, other than a residential flat building that includes above ground dwellings)		Total private open space area: (a) Site area <301m <sup>2</sup> : 24m <sup>2</sup> located behind the building line. (b) Site area ≥ 301m <sup>2</sup> : 60m <sup>2</sup> located behind the building line.  Minimum directly accessible from a living room: 16m <sup>2</sup> / with a minimum dimension 3m.
Cabin or caravan (permanently fixed to the ground) in a residential park or caravan and tourist park		Total area: 16m <sup>2</sup> , which may be uses as second car parking space, provided on each site intended for residential occupation.
Dwelling in a residential flat building or mixed use building which incorporate above ground level dwellings	Dwellings at ground level:	15m <sup>2</sup> / minimum dimension 3m
	Dwellings above ground level:	
	Studio (no separate bedroom)	4m <sup>2</sup> / minimum dimension 1.8m
	One bedroom dwelling	8m <sup>2</sup> / minimum dimension 2.1m
	Two bedroom dwelling	11m <sup>2</sup> / minimum dimension 2.4m
	Three + bedroom dwelling	15 m <sup>2</sup> / minimum dimension 2.6m

## Infrastructure and Renewable Energy Facilities

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Efficient provision of infrastructure networks and services, renewable energy facilities and ancillary development in a manner that minimises hazard, is environmentally and culturally sensitive and manages adverse visual impacts on natural and rural landscapes and residential amenity.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Wastewater Services	
PO 12.2 Effluent drainage fields and other wastewater disposal areas are maintained to ensure the effective operation of waste systems and minimise risks to human health and the environment.	DTS/DPF 12.2 Development is not built on, or encroaches within, an area that is, or will be, required for a sewerage system or waste control system.

## Interface between Land Uses

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Overshadowing	
PO 3.1 Overshadowing of habitable room windows of adjacent residential land uses in:  a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight.	DTS/DPF 3.1 North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.
PO 3.2 Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in:	DTS/DPF 3.2 Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land

<p>a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight</p> <p>b. other zones is managed to enable access to direct winter sunlight.</p>	<p>uses in a neighbourhood-type zone in accordance with the following:</p> <p>a. for ground level private open space, the smaller of the following:</p> <p>i. half the existing ground level open space or</p> <p>ii. 35m<sup>2</sup> of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m)</p> <p>b. for ground level communal open space, at least half of the existing ground level open space.</p>
<p>PO 3.3</p> <p>Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:</p> <p>(a) the form of development contemplated in the zone</p> <p>(b) the orientation of the solar energy facilities</p> <p>(c) the extent to which the solar energy facilities are already overshadowed.</p>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>

## Transport, Access and Parking

### Assessment Provisions (AP)

Desired Outcome (DO)

Desired Outcome	
DO 1	A comprehensive, integrated and connected transport system that is safe, sustainable, efficient, convenient and accessible to all users.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Vehicle Parking Rates	
<p>PO 5.1</p> <p>Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to factors that may support a reduced on-site rate such as:</p> <p>(a) availability of on-street car parking</p> <p>(b) shared use of other parking areas</p> <p>(c) in relation to a mixed-use development, where the hours of operation of commercial activities complement the residential use of the site, the provision of vehicle parking may be shared</p> <p>(d) the adaptive reuse of a State or Local Heritage Place.</p>	<p>DTS/DPF 5.1</p> <p>Development provides a number of car parking spaces on-site at a rate no less than the amount calculated using one of the following, whichever is relevant:</p> <p>(a) Transport, Access and Parking Table 2 - Off-Street Vehicle Parking Requirements in Designated Areas if the development is a class of development listed in Table 2 and the site is in a Designated Area</p> <p>(b) Transport, Access and Parking Table 1 - General Off-Street Car Parking Requirements where (a) does not apply</p> <p>(c) if located in an area where a lawfully established carparking fund operates, the number of spaces calculated under (a) or (b) less the number of spaces offset by contribution to the fund.</p>

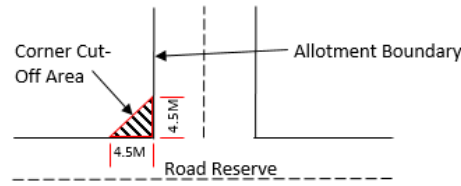
Corner Cut-Offs	
<p>PO 10.1</p> <p>Development is located and designed to ensure drivers can safely turn into and out of public road junctions.</p>	<p>DTS/DPF 10.1</p> <p>Development does not involve building work, or building work is located wholly outside the land shown as Corner Cut-Off Area in the following diagram:</p> 

Table 1 - General Off-Street Car Parking Requirements

Class of Development	Car Parking Rate (unless varied by Table 2 onwards)  Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.
Residential Development	
Detached Dwelling	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Group Dwelling	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> <p>0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.</p>
Residential Flat Building	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p> <p>0.33 spaces per dwelling for visitor parking where development involves 3 or more dwellings.</p>
Row Dwelling where vehicle access is from the primary street	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Row Dwelling where vehicle access is not from the primary street (i.e. rear-loaded)	<p>Dwelling with 1 or 2 bedrooms (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p> <p>Dwelling with 3 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.</p>
Semi-Detached Dwelling	<p>Dwelling with 1 bedroom (including rooms capable of being used as a bedroom) - 1 space per dwelling.</p>

Dwelling with 2 or more bedrooms (including rooms capable of being used as a bedroom) - 2 spaces per dwelling, 1 of which is to be covered.

Table 2 - Off-Street Car Parking Requirements in Designated Areas

Class of Development	Car Parking Rate		Designated Areas
	Where a development comprises more than one development type, then the overall car parking rate will be taken to be the sum of the car parking rates for each development type.		
	Minimum number of spaces	Maximum number of spaces	
Development generally			
All classes of development	No minimum.	No maximum except in the Primary Pedestrian Area identified in the Primary Pedestrian Area Concept Plan, where the maximum is:	Capital City Zone
			City Main Street Zone
			City Riverbank Zone
		1 space for each dwelling with a total floor area less than 75 square metres	Adelaide Park Lands Zone
		2 spaces for each dwelling with a total floor area between 75 square metres and 150 square metres	Business Neighbourhood Zone (within the City of Adelaide)
		3 spaces for each dwelling with a total floor area greater than 150 square metres.	The St Andrews Hospital Precinct Subzone and Women's and Children's Hospital Precinct Subzone of the Community Facilities Zone
		Residential flat building or Residential component of a multi-storey building: 1 visitor space for each 6 dwellings.	



\*IMAGE FOR ILLUSTRATIVE PURPOSE ONLY

Sheet Number	Sheet Name	Current Revision	Revision Date
A000	COVER SHEET	I	26/05/2025
A001	SITE PLAN	I	26/05/2025
A002	DEMOLITION PLAN	I	26/05/2025
A003	GROUND FLOOR PLAN	I	26/05/2025
A004	FIRST FLOOR PLAN	I	26/05/2025

Sheet Number	Sheet Name	Current Revision	Revision Date
A005	SECTIONS	I	26/05/2025
A006	ELEVATIONS	I	26/05/2025
A007	ELEVATIONS	I	26/05/2025
A008	VEHICLE MANOEUVRING PLAN - IN	I	26/05/2025

Sheet Number	Sheet Name	Current Revision	Revision Date
A009	VEHICLE MANOEUVRING PLAN - OUT	I	26/05/2025
A010	SUN STUDY - 21ST JUNE	I	26/05/2025
A011	SUN STUDY - 21ST JUNE	I	26/05/2025
A012	SUN STUDY - 22ND MARCH	I	26/05/2025

Sheet Number	Sheet Name	Current Revision	Revision Date
A013	SUN STUDY - 22ND MARCH	I	26/05/2025
A014	SUN STUDY - 22ND SEPTEMBER	I	26/05/2025
A015	SUN STUDY - 22ND SEPTEMBER	I	26/05/2025

PLANNING DRAWINGS

building designer:



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ABN: 93 607 055 925

builder & contractor note:

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F	31/03/2025	FOR APPROVAL	DL	YG
G	09/04/2025	FOR APPROVAL	DL	YG
I	26/05/2025	SECTION AND SHADOW DIAGRAM CHANGED	DL	YG

project:

**NEW DWELLING**

68 Sydenham Rd, Norwood SA 5067

**COVER SHEET**

project:

address:

drawing title:

issue:

**FOR APPROVAL**

project no:

Y241008

550.5sqm

site area:

date issued:

26/05/2025

issue:

drawing no:

**AA000**

revision:

**I**

scale:

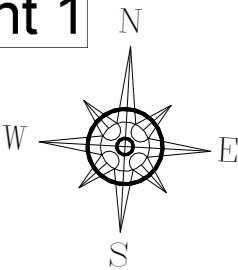
A3

paper size:

A3



Attachment 1



TORRENS TITLE

Property Schedule	
COMMON DRIVEWAY	94.8 m <sup>2</sup>
EXISTING DWELLING	235.9 m <sup>2</sup>
NEW DWELLING	219.8 m <sup>2</sup>
550.4 m <sup>2</sup>	

OVERALL COVERAGE :

251.5m<sup>2</sup> / 550.5m<sup>2</sup> = 45.7%

BUILDING AREA: 251.5m<sup>2</sup>  
TOTAL SITE AREA: 550.5m<sup>2</sup>

Area Schedule	
EXISTING	
GFL	
LIVING	74.9 m <sup>2</sup>
VERANDAH	16.7 m <sup>2</sup>
	91.6 m <sup>2</sup>
EXTENSION	
GFL	
DOUBLE GARAGE	30.2 m <sup>2</sup>
GFL LIVING	15.9 m <sup>2</sup>
FFL	
BALCONY	9.7 m <sup>2</sup>
FFL LIVING	38.9 m <sup>2</sup>
	94.8 m <sup>2</sup>

Area Schedule	
NEW DWELLING	
GFL	
DOUBLE GARAGE	30.3 m <sup>2</sup>
GFL LIVING	81.8 m <sup>2</sup>
PORCH	1.3 m <sup>2</sup>
FFL	
BALCONY	10.0 m <sup>2</sup>
FFL LIVING	82.9 m <sup>2</sup>
	206.2 m <sup>2</sup>

OVERALL SOFT LANDSCAPING

FRONT & REAR:  
146.2m<sup>2</sup> / 550.4m<sup>2</sup> = 26.6%  
FRONT:  
56.7m<sup>2</sup> / 100.1m<sup>2</sup> (FRONT YARD) = 56.6%

LEGEND

	LAWN
	MULCH
	UPPER FLOOR
	APRON PAVING
	DRIVEWAY PAVING
	PERMEABLE PAVING
	PRIVATE OPEN SPACE (P.O.S.)

PLANNING DRAWINGS

1 Site Plan  
SCALE: 1 : 200

building designer:

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I	26/05/2025	SECTION AND SHADOW DIAGRAM CHANGED	DL	YG

project:

NEW DWELLING

68 Sydenham Rd, Norwood SA 5067

SITE PLAN

issue:

FOR APPROVAL

Y241008

550.5sqm

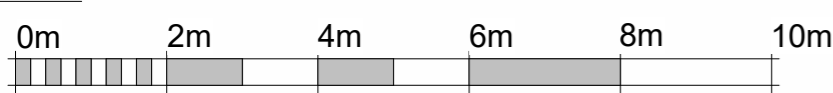
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AA001

As indicated

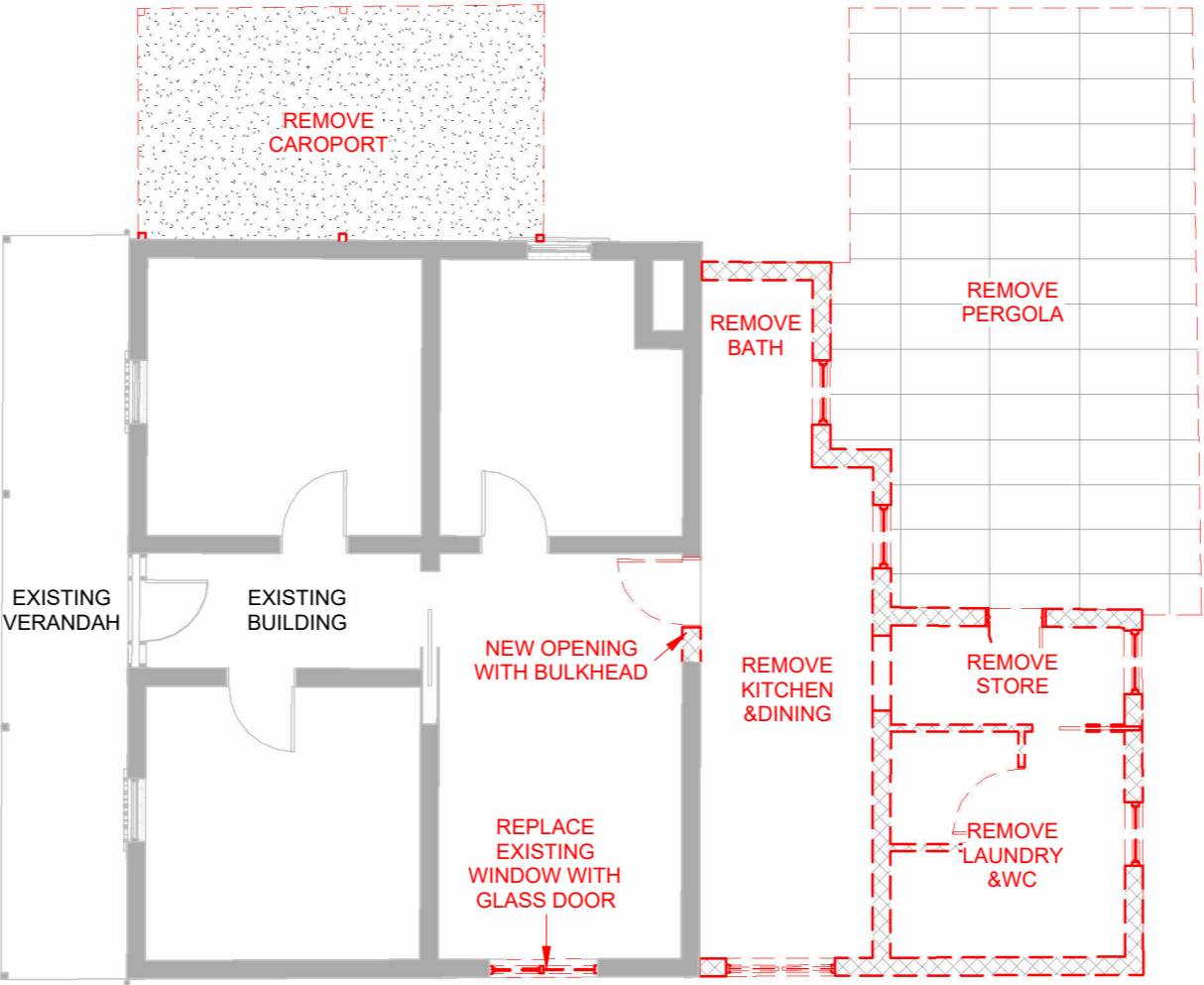
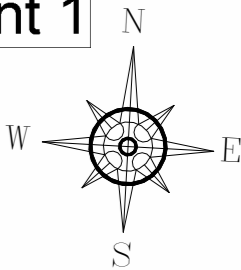
A3

I



SCALE 1:100 @ A3

**NOTES:**  
ALL ITEMS BEING REMOVED FROM SITE & DISPOSED OF IN AN APPROPRIATE MANNER.  
ANY WORK REQUIRING REMOVAL ALSO ASSUMES MAKING GOOD OF ALL SURFACES & FINISHES AS REQUIRED.  
EXISTING STRUCTURES TO BE REMOVED SHOWN IN RED DASH LINE.  
EXISTING TREES TO BE REMOVED SHOWN IN RED DASH LINE.  
EXISTING FENCES TO BE REMOVED SHOWN IN RED DASH LINE.  
BOUNDARY TO BE SURVEYED & EXISTING FENCES REPLACED & REALIGNED WITH CORRECT BOUNDARY POSITIONS IF FOUND TO BE INCORRECT.



**1 DEMOLITION PLAN**  
SCALE: 1 : 100

PLANNING DRAWINGS

building designer:



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project:

**NEW DWELLING**

68 Sydenham Rd, Norwood SA 5067

**DEMOLITION PLAN**

issue:

**FOR APPROVAL**

Y241008

550.5sqm

26/05/2025

project no:

site area:

date issued:

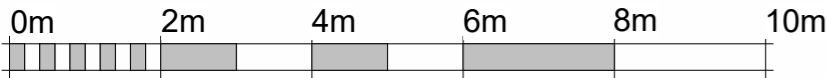
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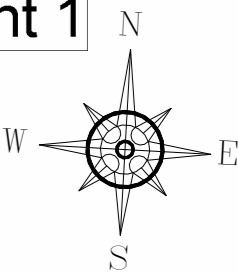
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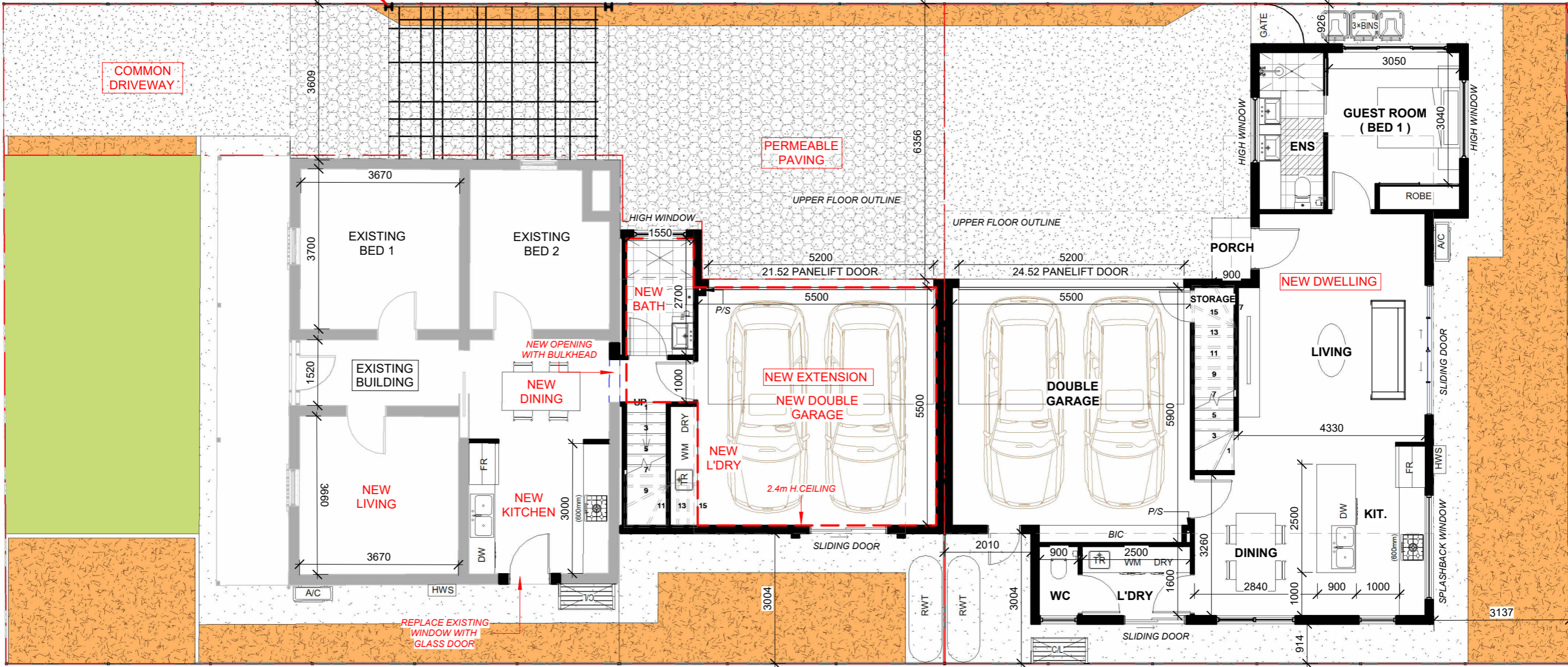
revision: **I**



SCALE 1:100 @ A3



ARBOR WITH STAINLESS STEEL CABLE TRELLIS



1 Ground Floor Plan

SCALE: 1 : 100

PLANNING DRAWINGS

building designer:



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project:

**NEW DWELLING**

68 Sydenham Rd, Norwood SA 5067

**GROUND FLOOR PLAN**

issue:

**FOR APPROVAL**

Y241008

550.5sqm

26/05/2025

project no:

site area:

date issued:

drawing no:

**AA003**

scale:

1 : 100 @ A3

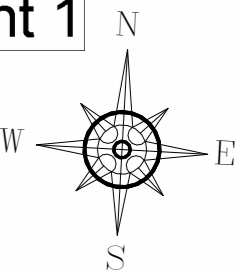
revision:

**I**

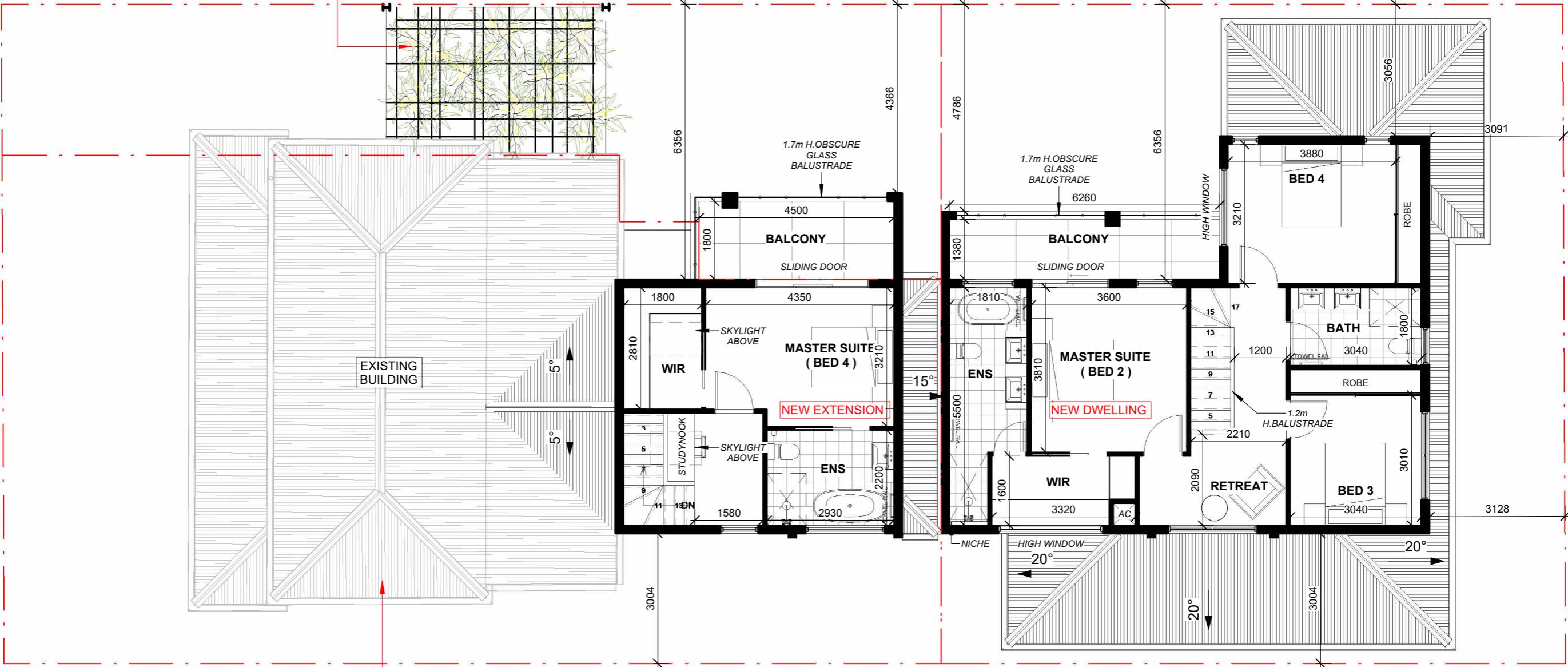
0m 2m 4m 6m 8m 10m

SCALE 1:100 @ A3

Attachment 1



ARBOR WITH STAINLESS STEEL CABLE TRELLIS



1 First Floor Plan

SCALE: 1 : 100

REPLACE EXISTING ROOF WITH NEW PAINTED CORRUGATED ROOF, SCRIBED RIDGE AND HIP FLASHING, COLORBOND FINISH 'WINDSPRAY' OR SIMILAR

PLANNING DRAWINGS

building designer:



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I	26/05/2025	SECTION AND SHADOW DIAGRAM CHANGED	DL	YG

project:

**NEW DWELLING**

68 Sydenham Rd, Norwood SA 5067

**FIRST FLOOR PLAN**

issue:

**FOR APPROVAL**

Y241008

550.5sqm

26/05/2025

project no:

site area:

date issued:

drawing no:

**AA004**

scale:

1 : 100 @ A3

paper size:

A3

revision:

**I**

Architectural section drawing of a house. The drawing shows a cross-section of the building with various rooms and structural elements labeled in red text. On the left, a balcony is labeled "NEW BALCONY" with a dimension of "1.7m H.OBSCURE GLASS BALUSTRADE". The central part of the house contains a "NEW MASTER SUITE (BED 4)" with a figure of a person standing inside. To the right of the master suite is a "NEW ENS" (en-suite bathroom) with a bathtub and a toilet. The right side of the house has a "NEW DOUBLE GARAGE". Vertical dimensions on the right indicate floor levels: "2FFCL" (Second Floor Ceiling Line) at 2700, "2FFL" (Second Floor Floor Line) at 435, "2GFCL" (Second Ground Floor Ceiling Line) at 2400, and "GFL" (Ground Floor Floor Line). A dimension of "2400" is also shown for the height of the master suite area.

**1 Section 1**

SCALE: 1 : 100

BOUNDARY

STREET PERSPECTIVE

45° ANGLE FROM THE FRONT OF THE BUILDING

VELUX FS M06  
780X1180mm

NEW ENS

CEILING HEIGHT

NEW DOUBLE GARAGE

NEW KITCHEN

EXISTING DWELLING

NEW WIR

NEW RETREAT

NEW BED 3

NEW GFL LIVING

NEW DOUBLE GARAGE

TOTAL BUILDING HEIGHT

FFCL

FFL

GFCL

GFL

Dimensions: 14157, 3300, 2700, 2543, 2700, 2400, 2700, 7711, 435, 2700.

2

Section 2

SCALE: 1 : 100

PLANNING DRAWINGS

building designer:

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I	26/05/2025	SECTION AND SHADOW DIAGRAM CHANGED	DL	YG

project:

NEW DWELLING

68 Sydenham Rd, Norwood SA 5067

sections

issue:

FOR APPROVAL

AA005

scale:  
1 : 100 @ A3

paper size:  
A3

drawing title:

SECTIONS

project no:

Y241008

site area:

550.5sqm

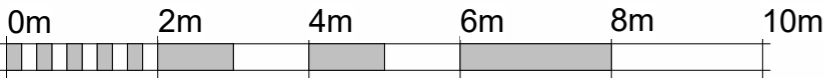
date issued:

26/05/2025

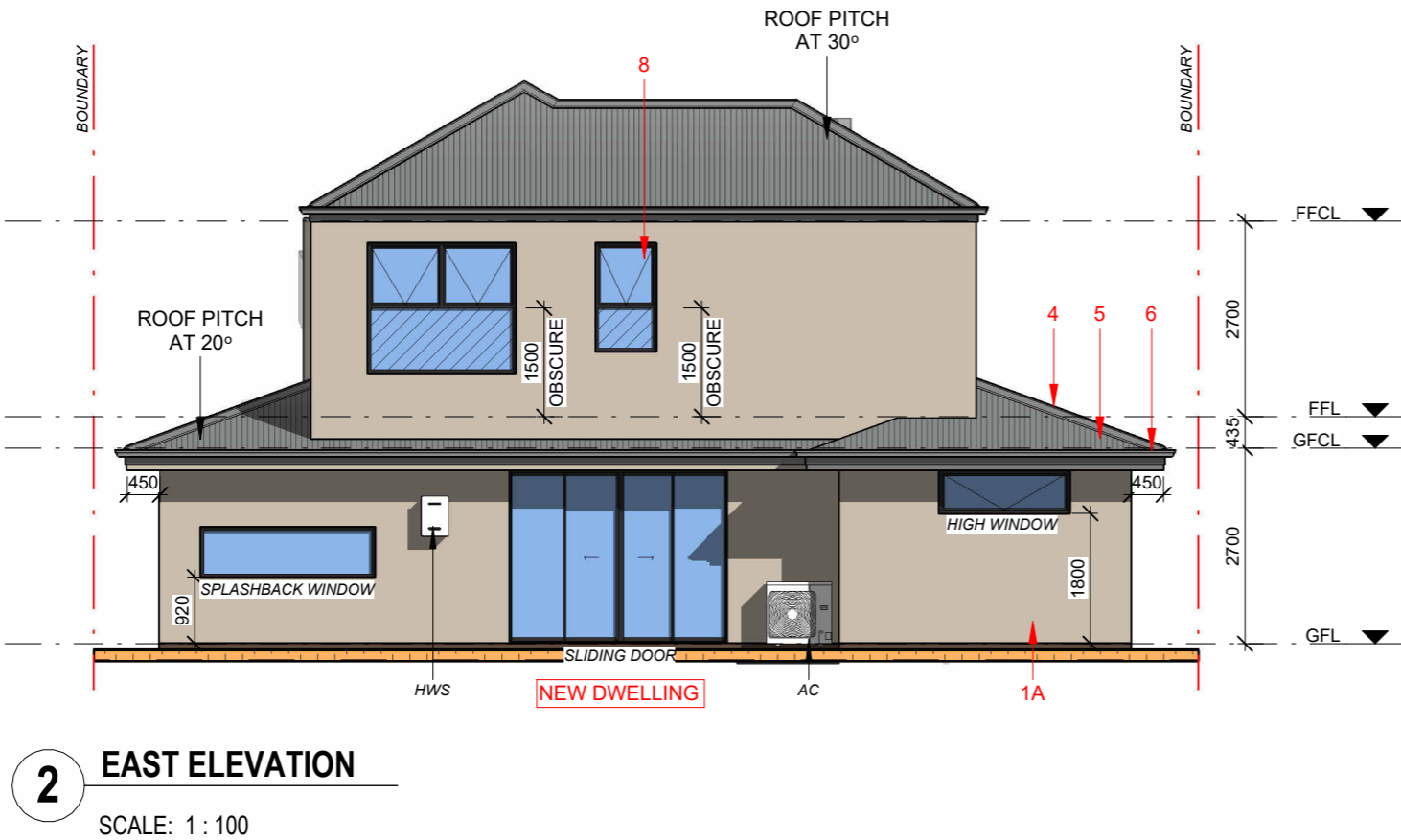
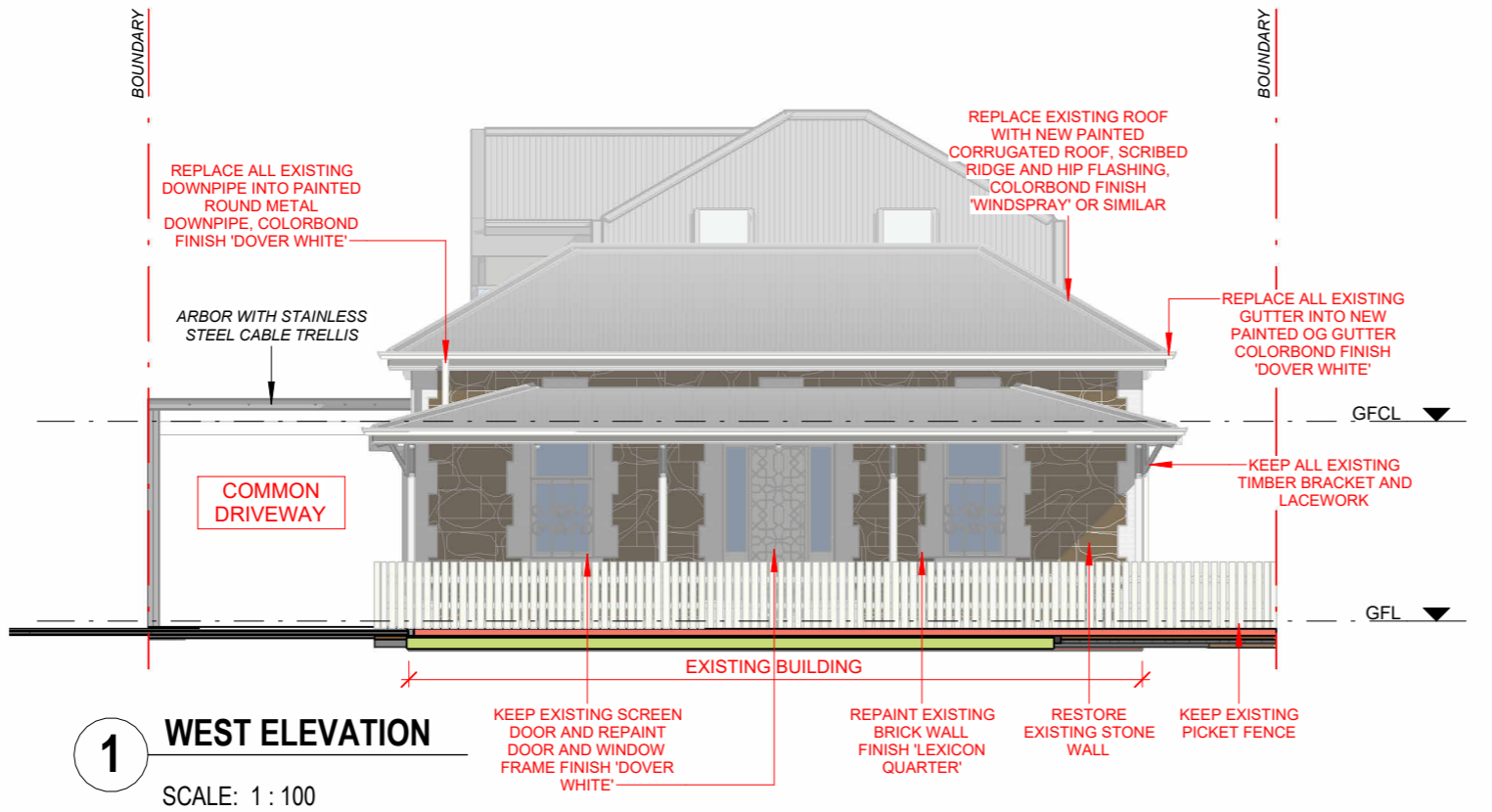
drawing no:

I

Page 6 of 27



SCALE 1:100 @ A3



Material schedule				
Code	Material image	Description	Specification	Finish
Walls - exterior				
1A		Aerated concrete panel wall	190 mm AAC Veneer Wall, 75 mm AAC Panel on 25 mm tophat to 90 mm studs	Rendered finish Dulux 'Vintage Beige'
1B		Aerated concrete panel wall	190 mm AAC Veneer Wall, 75 mm AAC Panel on 25 mm tophat to 90 mm studs	Rendered finish Dulux 'Teahouse'
2		Modinex Screening & Battens	Modinex Screening & Battens 40 x 91mm	Finish 'Monument'
3		Modinex Alu Selekt Channel	Modinex Alu Selekt Channel 75x18mm	Finish 'Monument'
Roof				
4		metal capping and flashing to match main roof	0.40 mm base metal "Rolled Top Ridge" profile capping and standard valley capping or similar	Colorbond finish 'Windspray' or similar
5		corrugated metal roof	Corrugated roof	Colorbond finish 'Windspray' or similar
6		Stratco (or similar) gutter	OG gutter profile or similar	Colorbond finish 'Windspray' or similar
Doors/windows				
7		B&D panelift Sectional door or similar	Seville profile with smooth texture	Timber look Knotwood 'Monument'
8		Aluminum framed glass door and windows	Statesman Essential series or similar	Powdercoated finish 'Monument' or similar

PLANNING DRAWINGS

building designer:

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ABN: 93 607 055 925

builder & contractor note:

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E	12/03/2025	FOR APPROVAL	DL	YG
F	31/03/2025	FOR APPROVAL	DL	YG
G	09/04/2025	FOR APPROVAL	DL	YG
I	26/05/2025	SECTION AND SHADOW DIAGRAM CHANGED	DL	YG

project:

NEW DWELLING

68 Sydenham Rd, Norwood SA 5067

ELEVATIONS

issue:

FOR APPROVAL

AA006

I

project no:

Y241008

550.5sqm

date issued:

26/05/2025

scale:

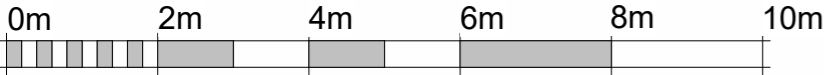
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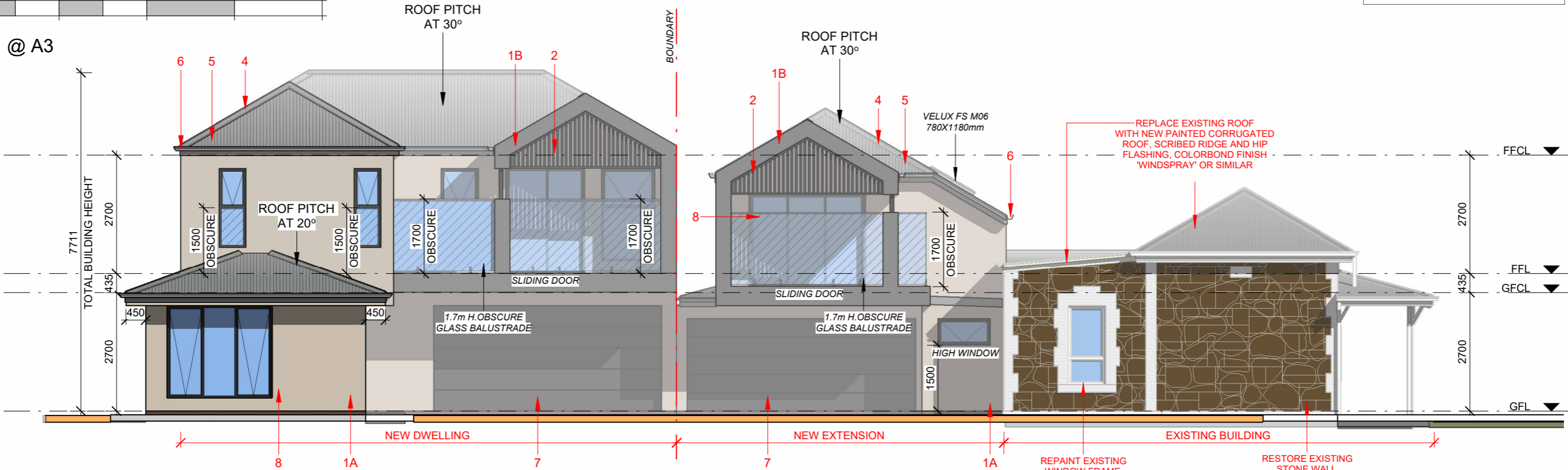
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revision:

Page 7 of 27

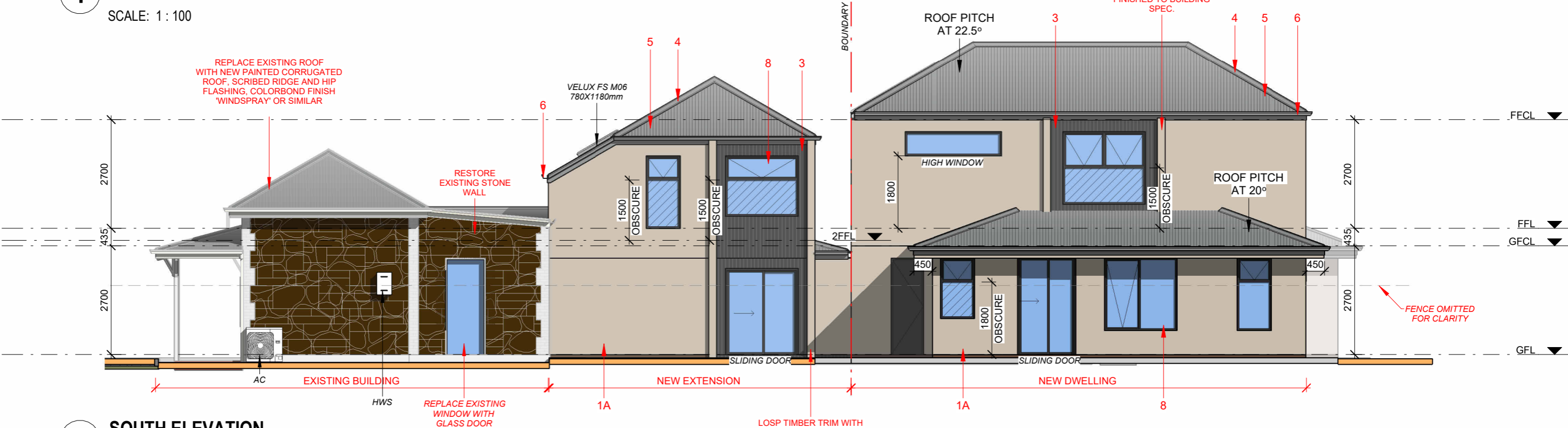


SCALE 1:100 @ A3



1 NORTH ELEVATION

SCALE: 1 : 100



2 SOUTH ELEVATION

SCALE: 1 : 100

PLANNING DRAWINGS

building designer:



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ABN: 93 607 055 925

builder & contractor note:

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G	09/04/2025	FOR APPROVAL	DL	YG
I	26/05/2025	SECTION AND SHADOW DIAGRAM CHANGED	DL	YG

project:

**NEW DWELLING**

68 Sydenham Rd, Norwood SA 5067

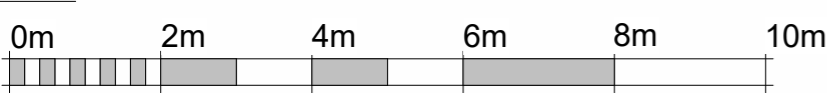
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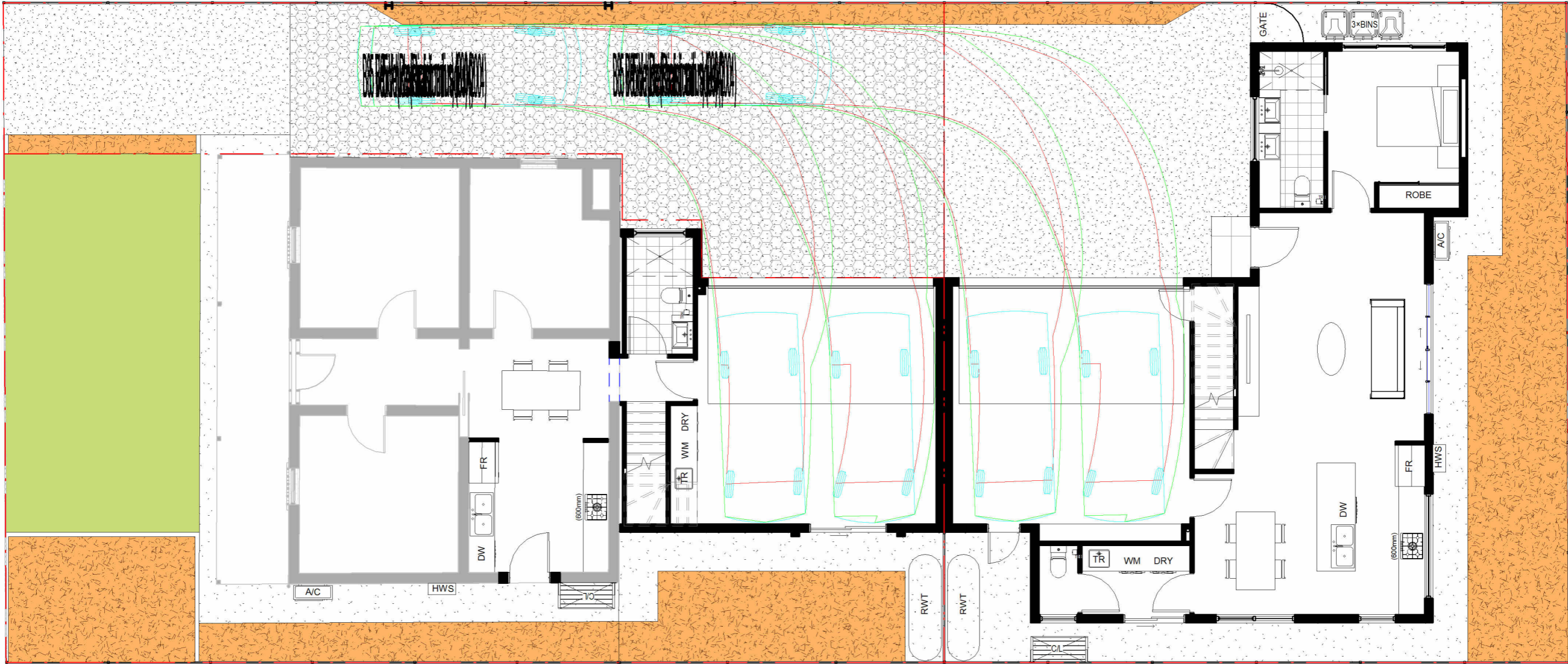
**FOR APPROVAL**

project no: Y241008  
site area: 550.5sqm  
date issued: 26/05/2025

drawing no: **AA007**  
revision: **I**




SCALE 1:100 @ A3



1 VEHICLE MANOEUVRING - IN  
SCALE: 1 : 100

PLANNING DRAWINGS

building designer:

YOGO DESIGN

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I	26/05/2025	SECTION AND SHADOW DIAGRAM CHANGED	DL	YG

project:

NEW DWELLING

68 Sydenham Rd, Norwood SA 5067

VEHICLE MANOEUVRING PLAN - IN

issue:

FOR APPROVAL

Y241008

550.5sqm

26/05/2025

project no:

Y241008

site area:

550.5sqm

date issued:

26/05/2025

drawing no:

AA008

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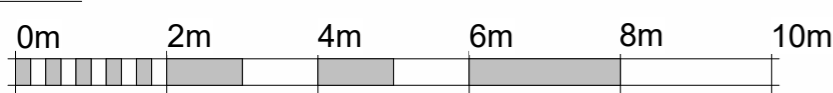
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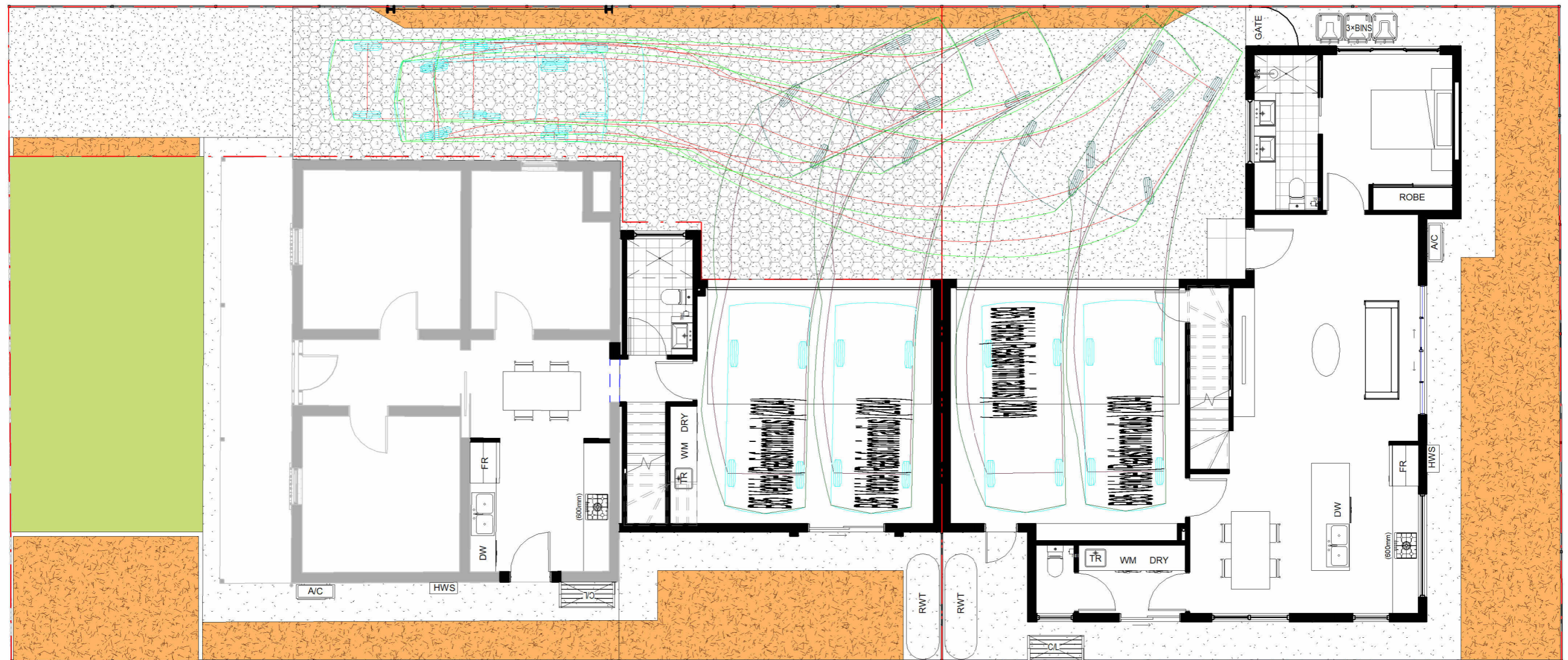
revision:

I

Page 9 of 27



SCALE 1:100 @ A3



1 VEHICLE MANOEUVRING - OUT  
SCALE: 1 : 100

## PLANNING DRAWINGS

### building designer:



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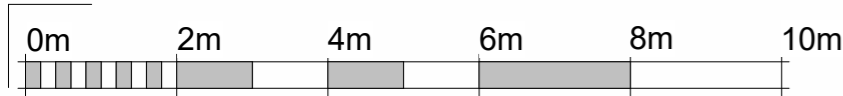
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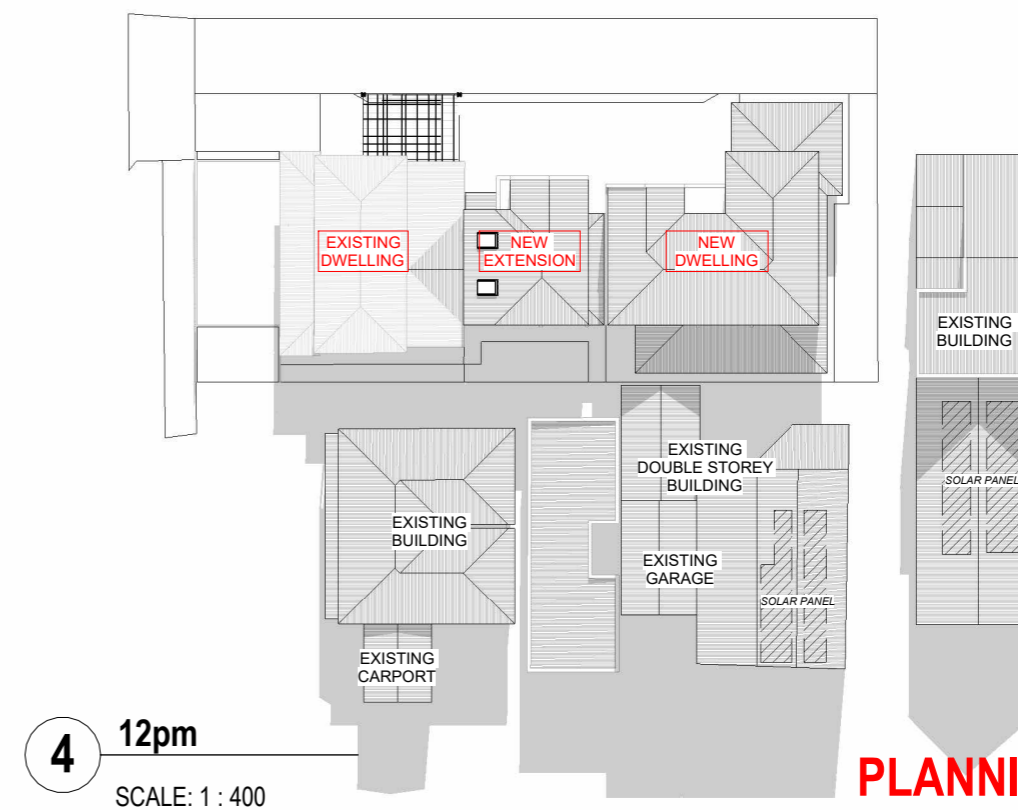
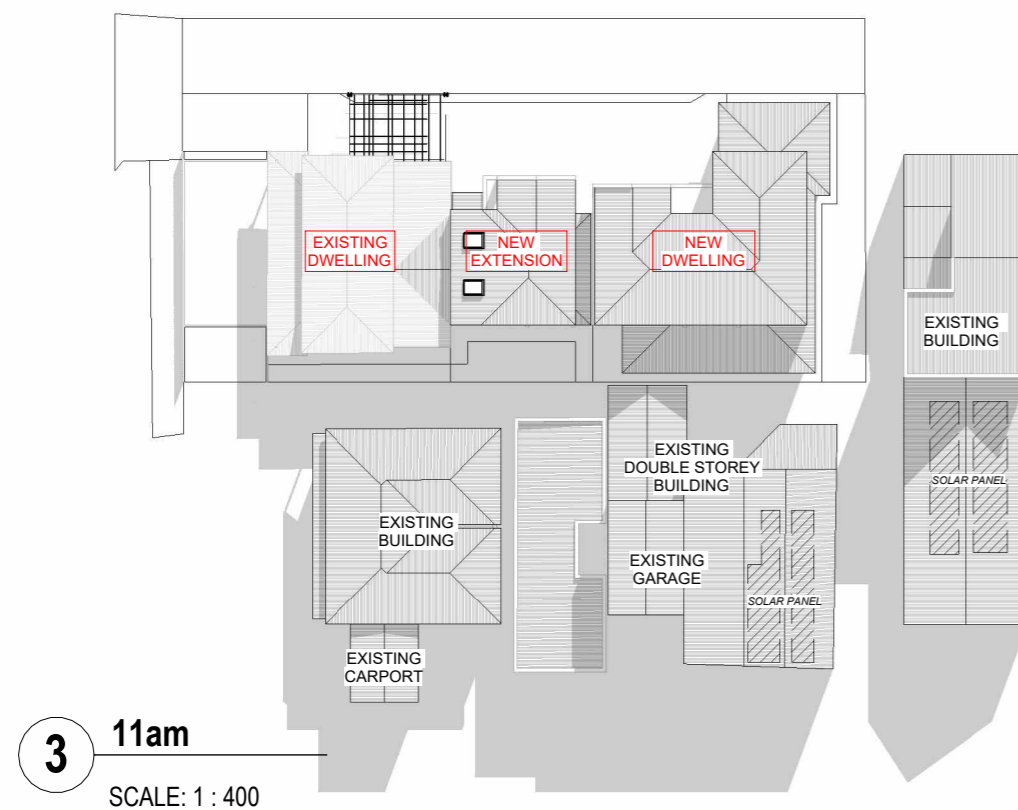
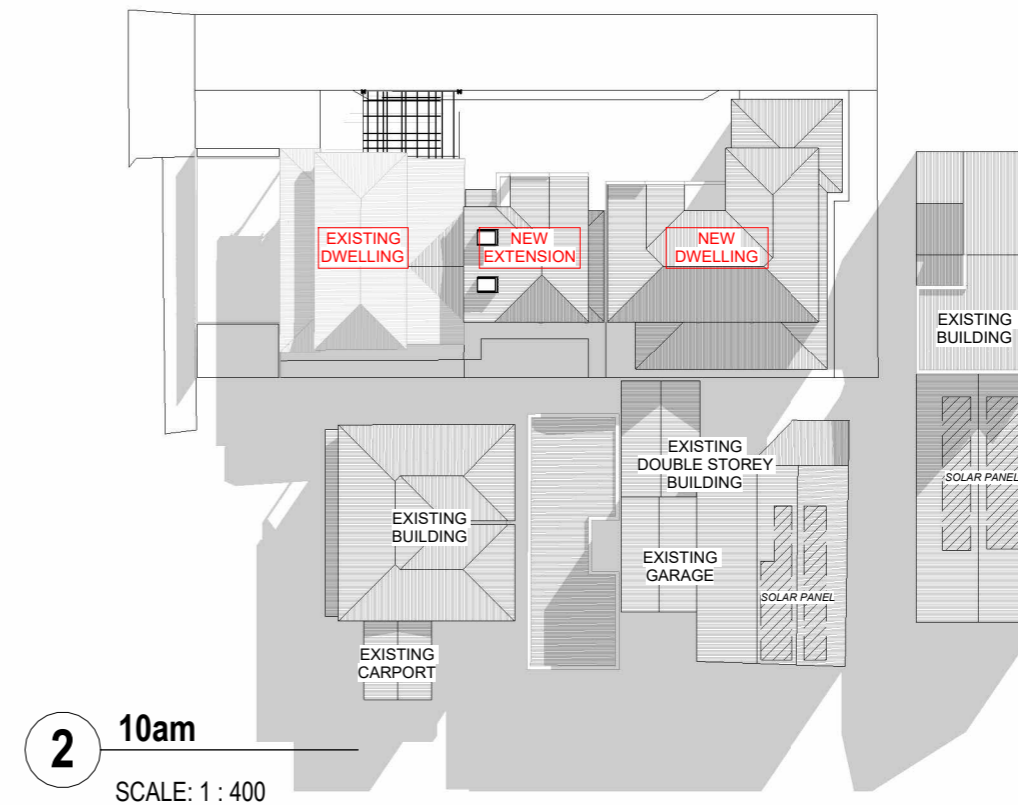
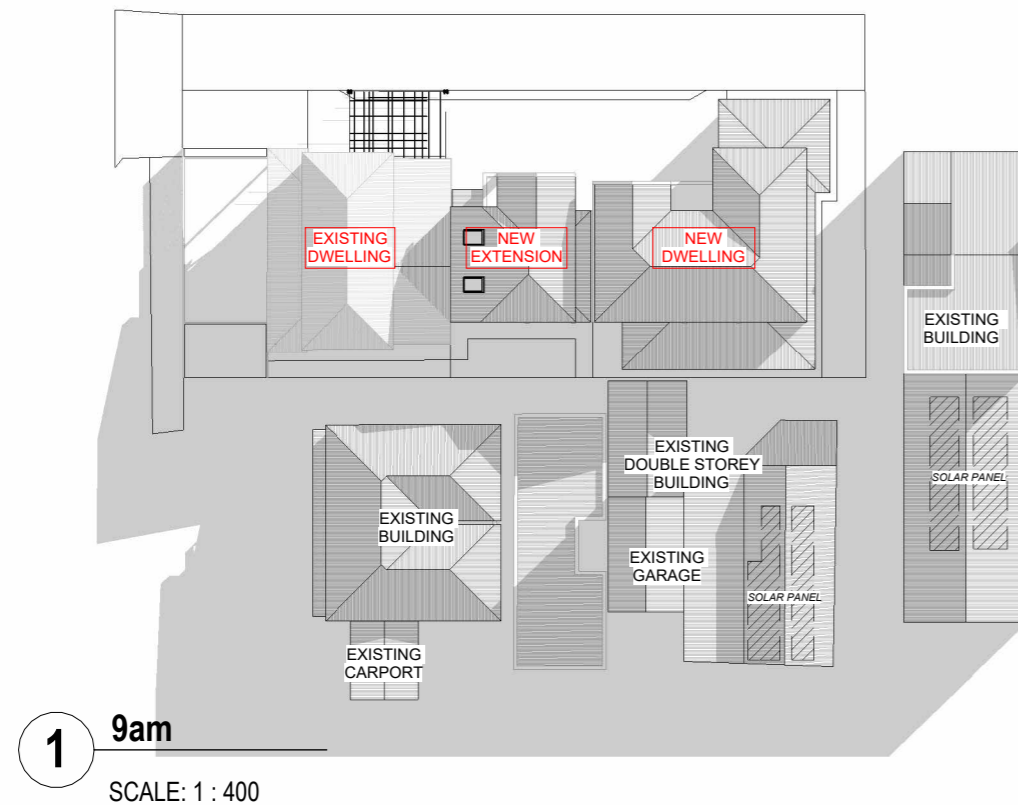
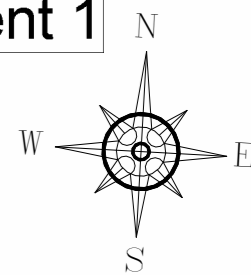
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project:	issue:
NEW DWELLING	FOR APPROVAL
68 Sydenham Rd, Norwood SA 5067	Y241008
550.5sqm	550.5sqm
VEHICLE MANOEUVRING PLAN - OUT	26/05/2025
1 : 100 @ A3	AA009
paper size: A3	revision: I



SCALE 1:100 @ A3

Attachment 1



PLANNING DRAWINGS

building designer:

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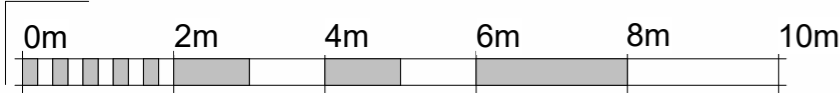
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I	26/05/2025	SECTION AND SHADOW DIAGRAM CHANGED	DL	YG

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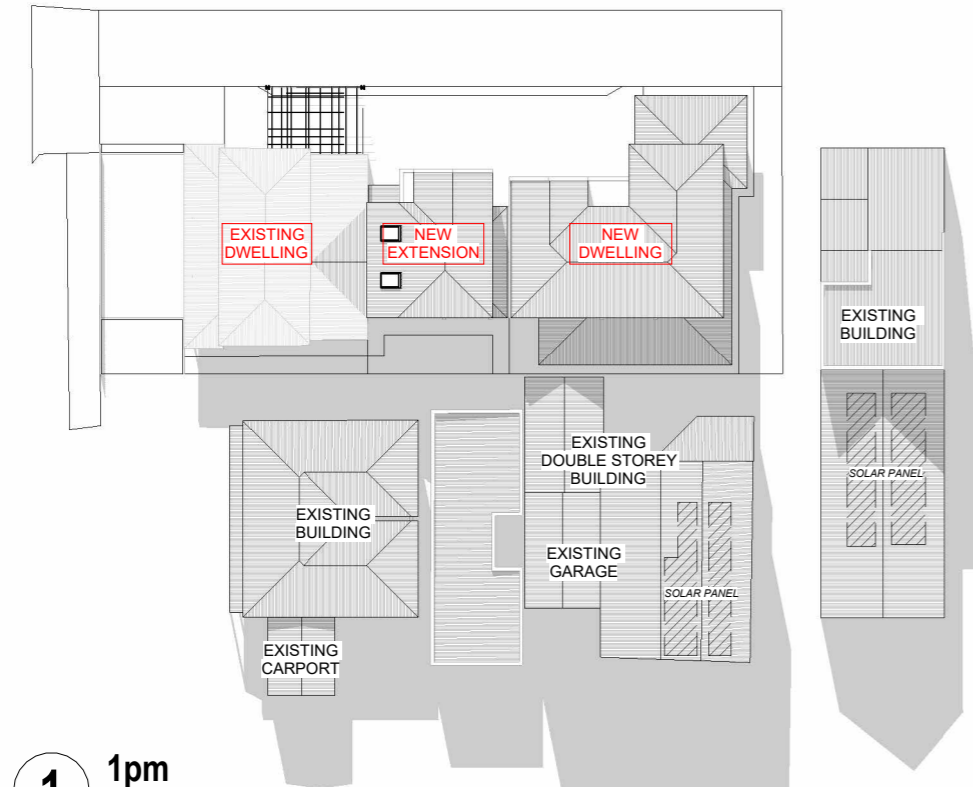
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68 Sydenham Rd, Norwood SA 5067  
**SUN STUDY - 21ST JUNE**

issue:

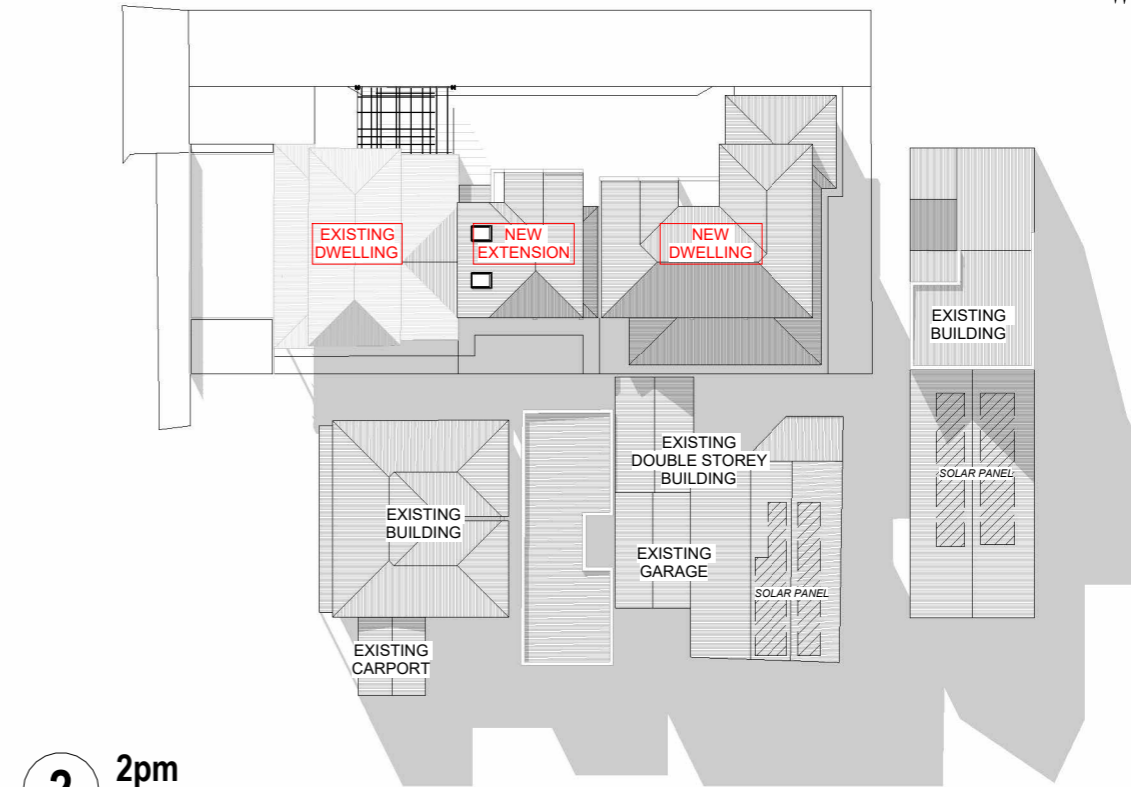
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site area: 550.5sqm  
date issued: 26/05/2025  
drawing no: **AA010**  
scale: 1 : 400 @ A3  
revision: **I**



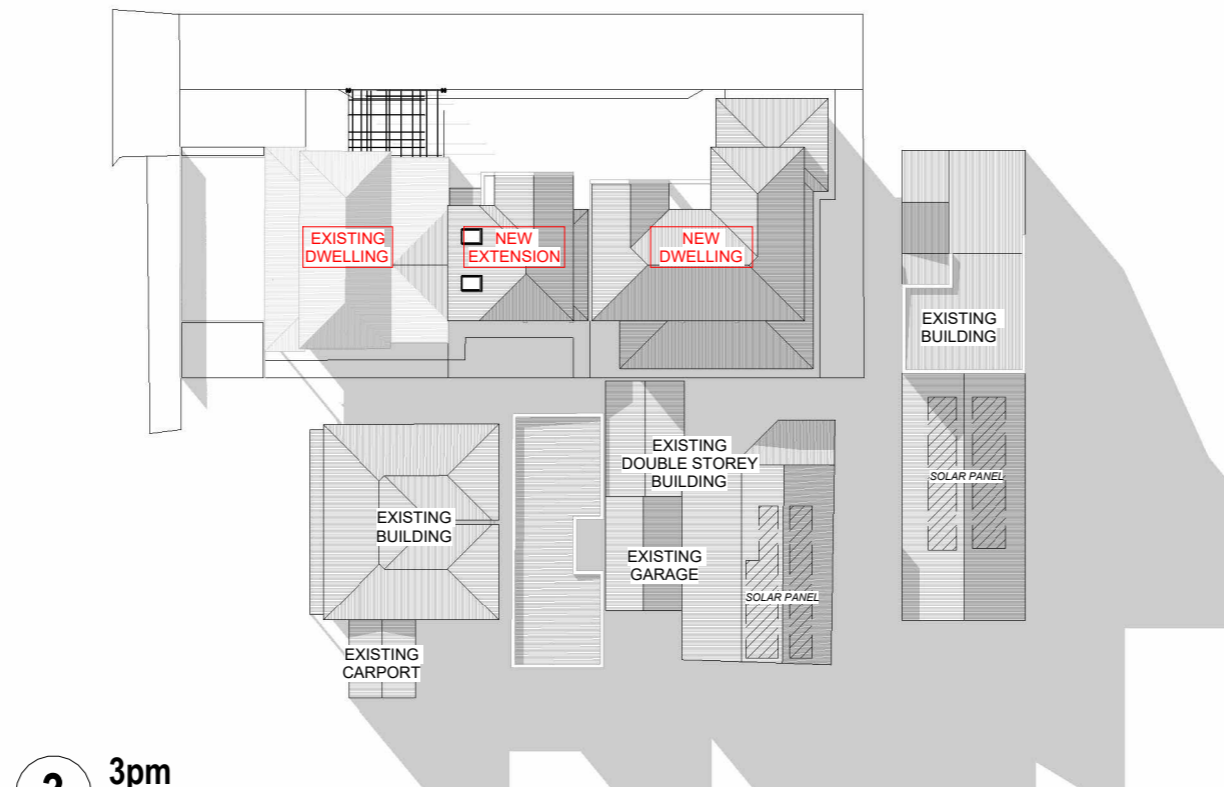
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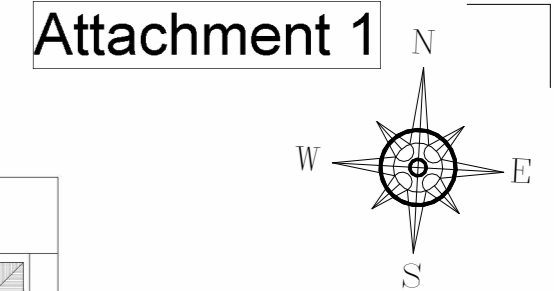
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SCALE: 1 : 400



2 2pm  
SCALE: 1 : 400



3 3pm  
SCALE: 1 : 400



## PLANNING DRAWINGS

building designer:

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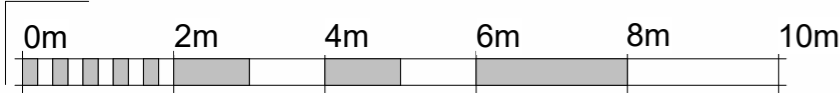
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G	09/04/2025	FOR APPROVAL	DL	YG
I	26/05/2025	SECTION AND SHADOW DIAGRAM CHANGED	DL	YG

project:

**NEW DWELLING**  
68 Sydenham Rd, Norwood SA 5067  
**SUN STUDY - 21ST JUNE**

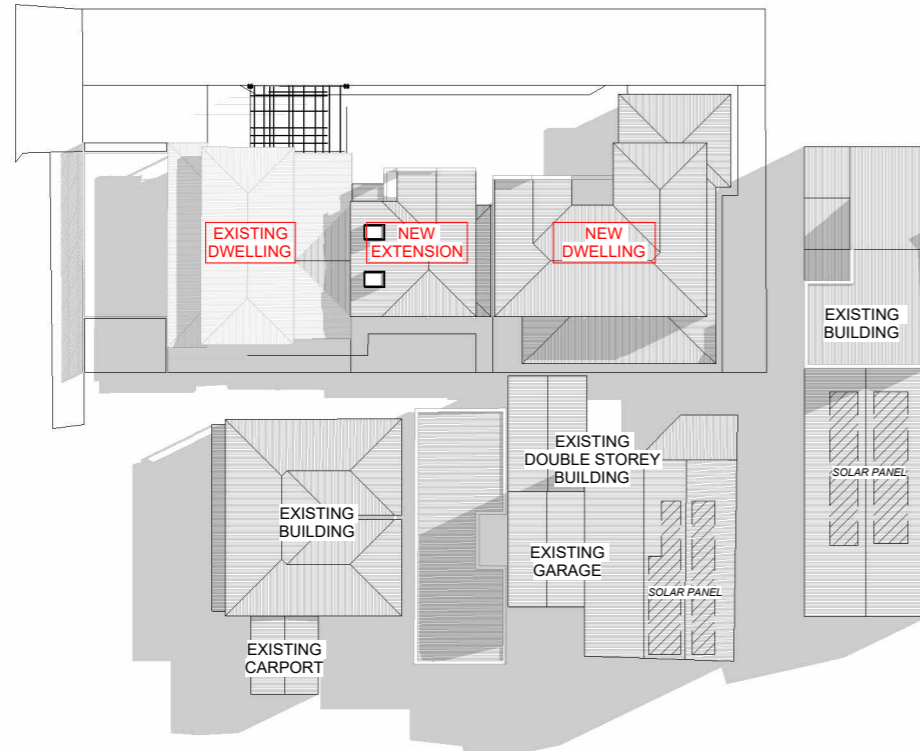
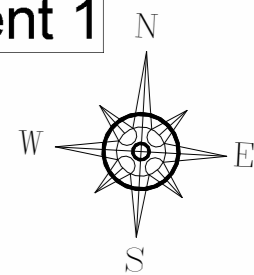
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project no: Y241008  
site area: 550.5sqm  
date issued: 26/05/2025  
drawing title: SUN STUDY - 21ST JUNE  
drawing no: **AA011**  
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paper size: A3  
revision: **I**



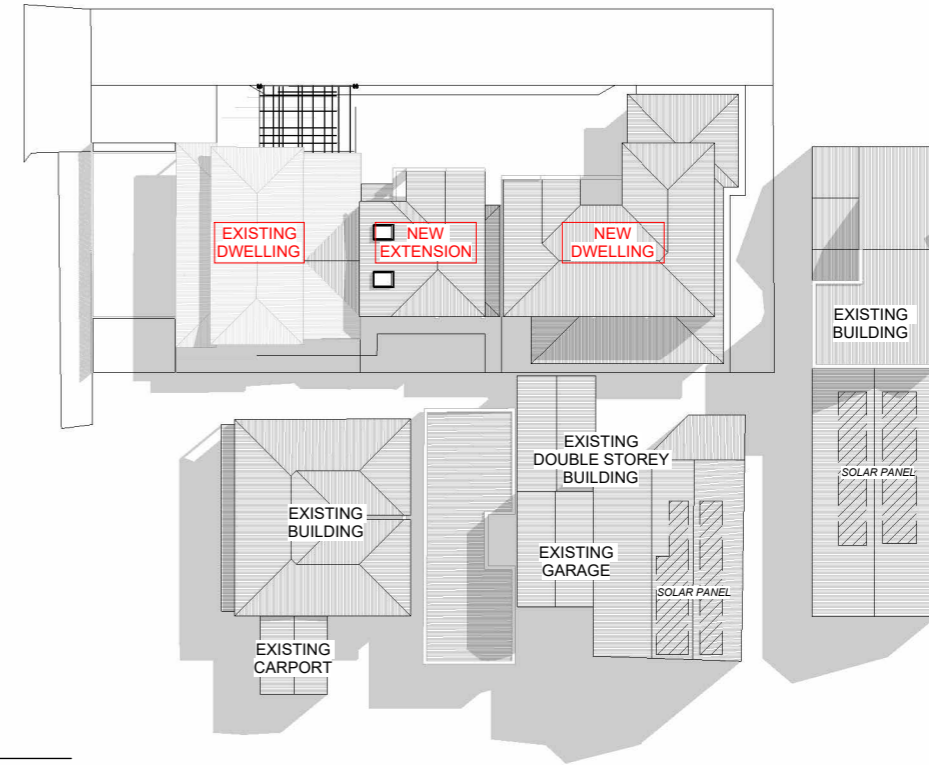
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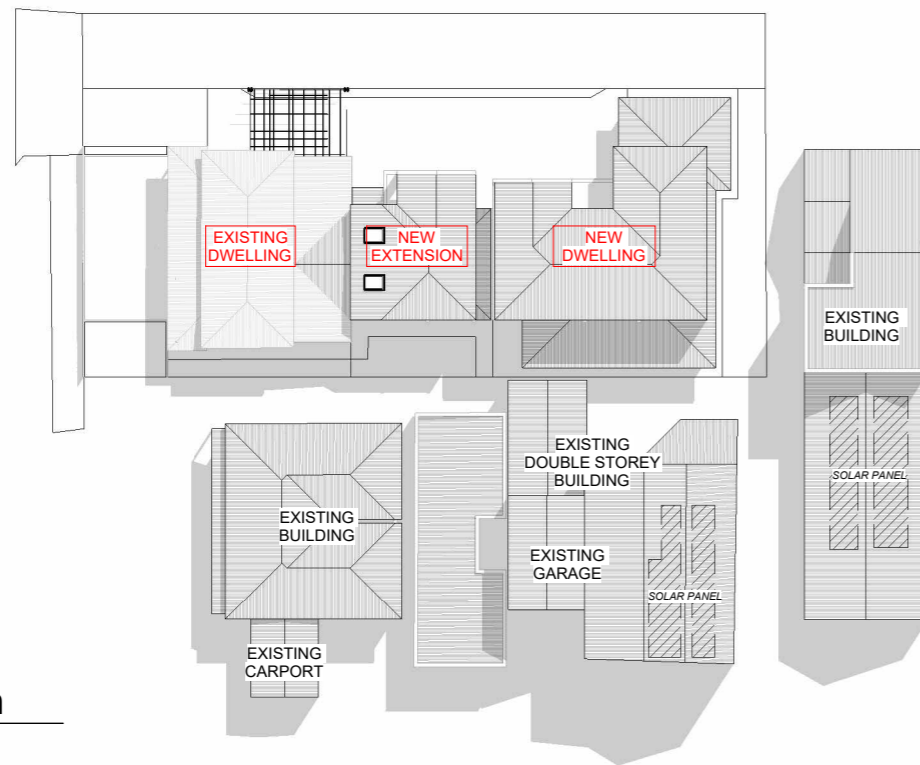
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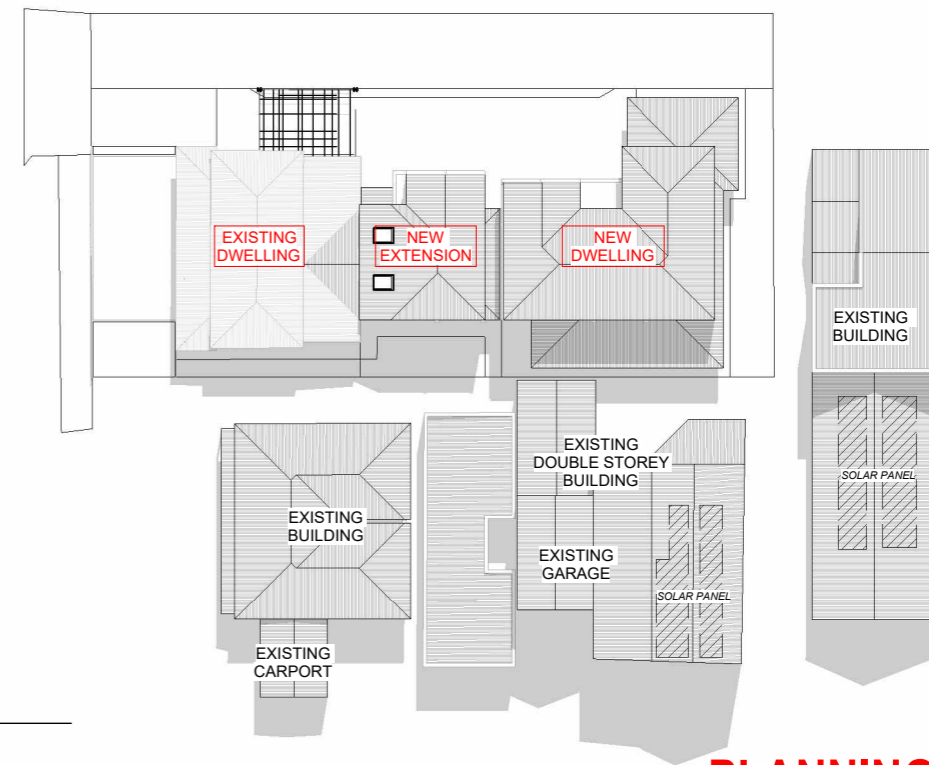
2 10am March

SCALE: 1 : 400



3 11am March

SCALE: 1 : 400



4 12pm March

SCALE: 1 : 400

PLANNING DRAWINGS

building designer:



YOGO DESIGN & CONSULTING PTY LTD

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revision:

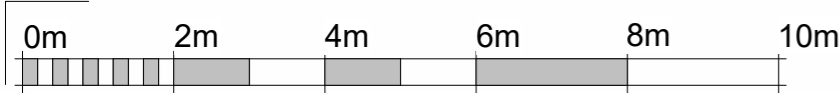
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I	26/05/2025	SECTION AND SHADOW DIAGRAM CHANGED	DL	YG

project:

**NEW DWELLING**  
68 Sydenham Rd, Norwood SA 5067  
**SUN STUDY - 22ND MARCH**

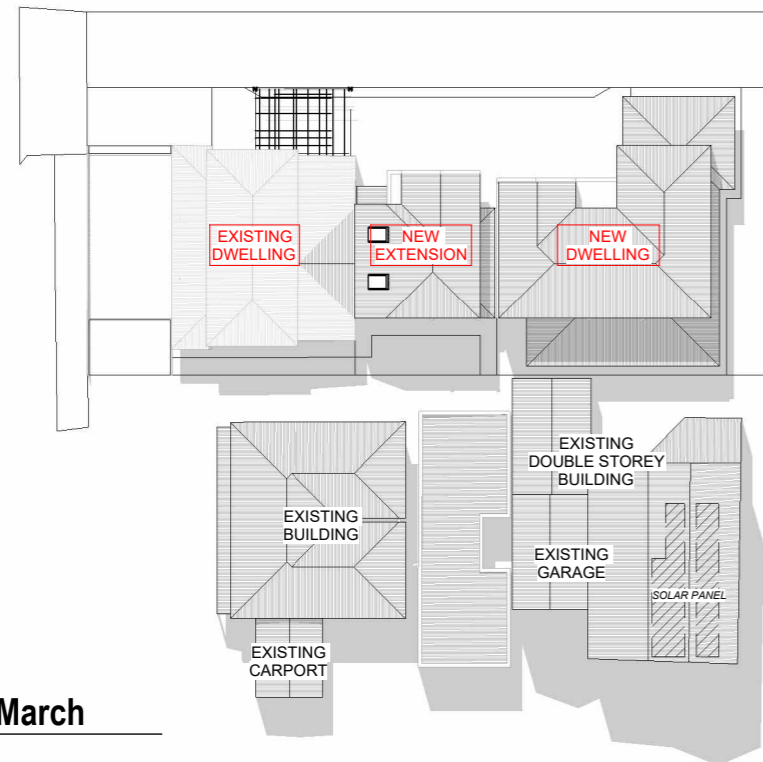
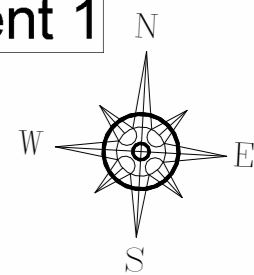
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project:	issue:
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address: 68 Sydenham Rd, Norwood SA 5067	project no: Y241008
area: 550.5sqm	site area: 550.5sqm
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drawing title: SUN STUDY - 22ND MARCH	paper size: A3
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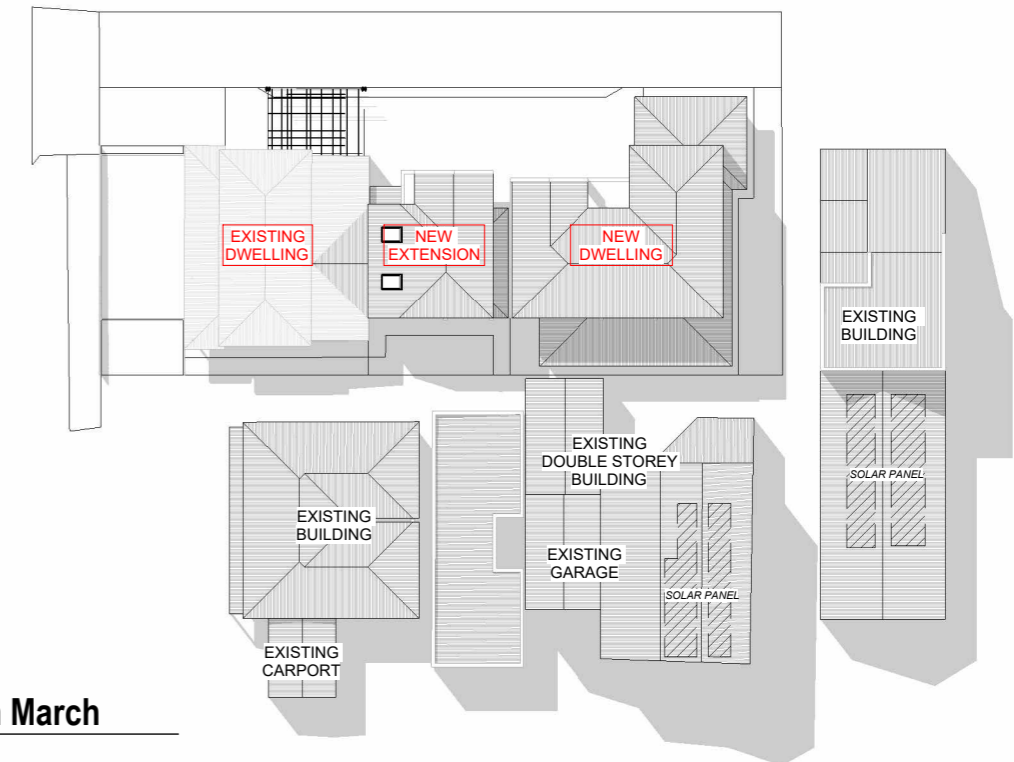
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Attachment 1



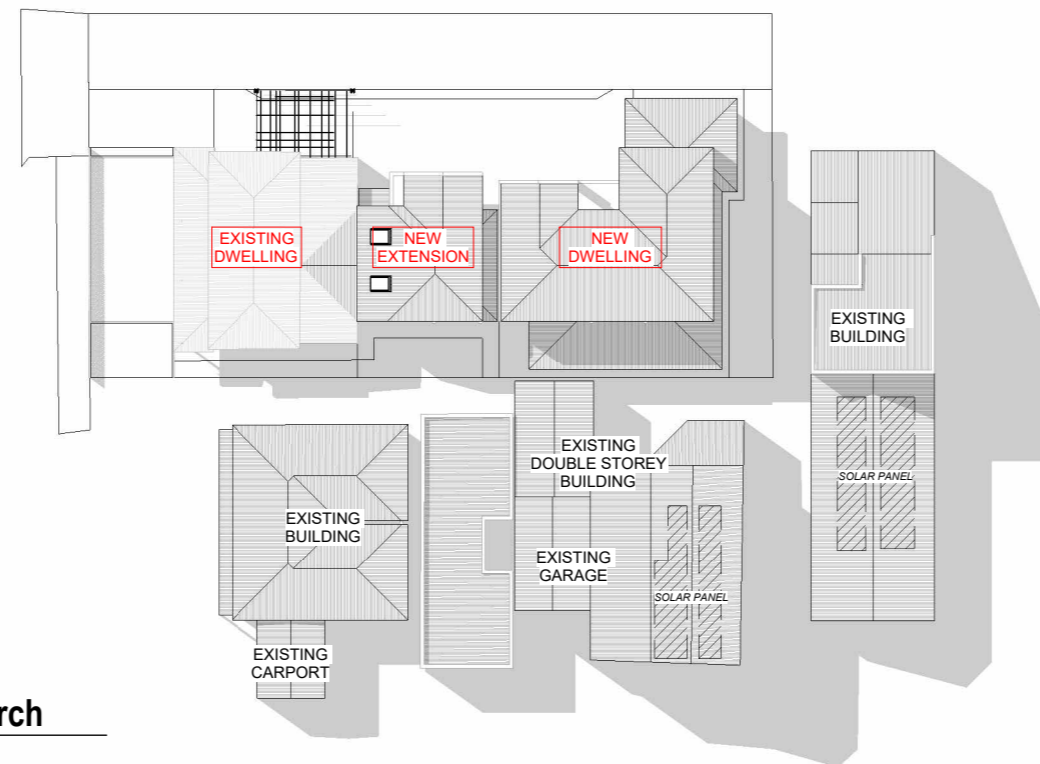
1 1pm March

SCALE: 1 : 400



2 2pm March

SCALE: 1 : 400



3 3pm March

SCALE: 1 : 400

## PLANNING DRAWINGS

building designer:

builder & contractor note:

**YOGO DESIGN & CONSULTING PTY LTD**  
572 Portrush Road, Glen Osmond  
yogodesign.com.au  
E: yogodesignconsulting@gmail.com  
T: 08 8338 1883  
ABN: 93 607 055 925

Figured dimensions must be taken in preference to scaled dimensions. All site dimensions and levels are to be verified on site prior to any work being commenced. Any discrepancies should be reported to the designer immediately. All workmanship and materials whether specified or implied must comply with all current and relevant building codes. These drawings must be read in conjunction with the Specification. It should be noted that these documents have been prepared to comply with the building regulations applicable at the time of preparation. It should be noted that the Building Code of Australia is continually upgraded and amended. Responsibility will only be accepted for compliance with the Building Code of Australia and its referenced standards applicable at the time of document preparation.

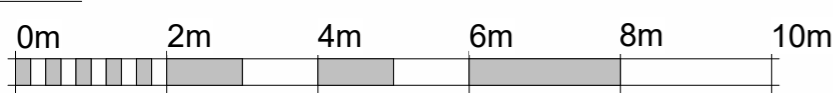
No work can commence on this project until full Development Approval under the Development Act 1993 has been obtained, and mandatory notification given to council. Builder and client to verify survey pegs on boundaries prior to any building work commencing. Builder must confirm on-site documents are the current set, by phoning both Architectural and Engineering offices prior to work commencing. Wet area tiling to have 1:80 fall to floor traps. 1:60 fall to shower traps. Tiles to be laid on flexible adhesive with flexible grout.  
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revision:

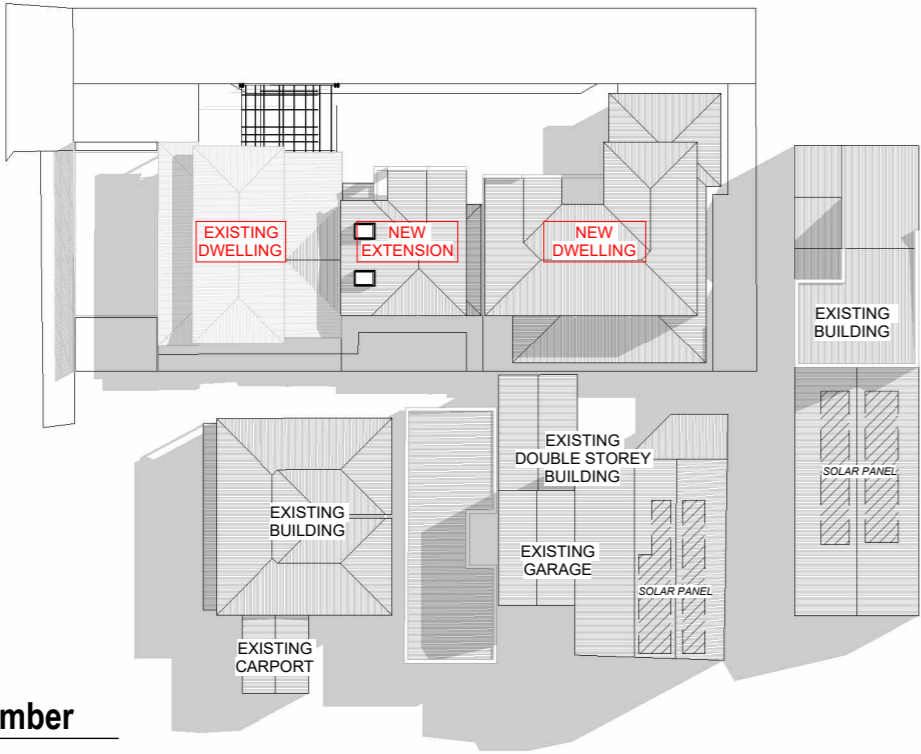
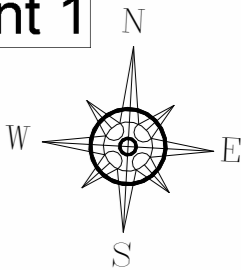
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I	26/05/2025	SECTION AND SHADOW DIAGRAM CHANGED	DL	YG

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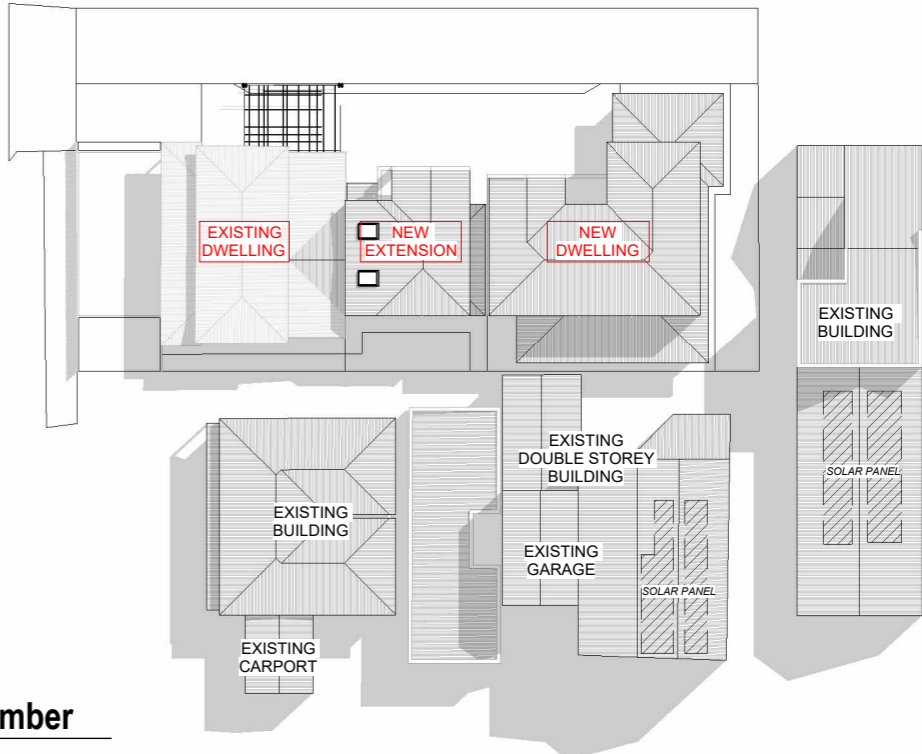
project:	issue:
<b>NEW DWELLING</b>	<b>FOR APPROVAL</b>
68 Sydenham Rd, Norwood SA 5067	project no: Y241008
	site area: 550.5sqm
<b>SUN STUDY - 22ND MARCH</b>	date issued: 26/05/2025
	scale: 1 : 400 @ A3
	paper size: A3
	revision: <b>AA013</b>
	<b>I</b>



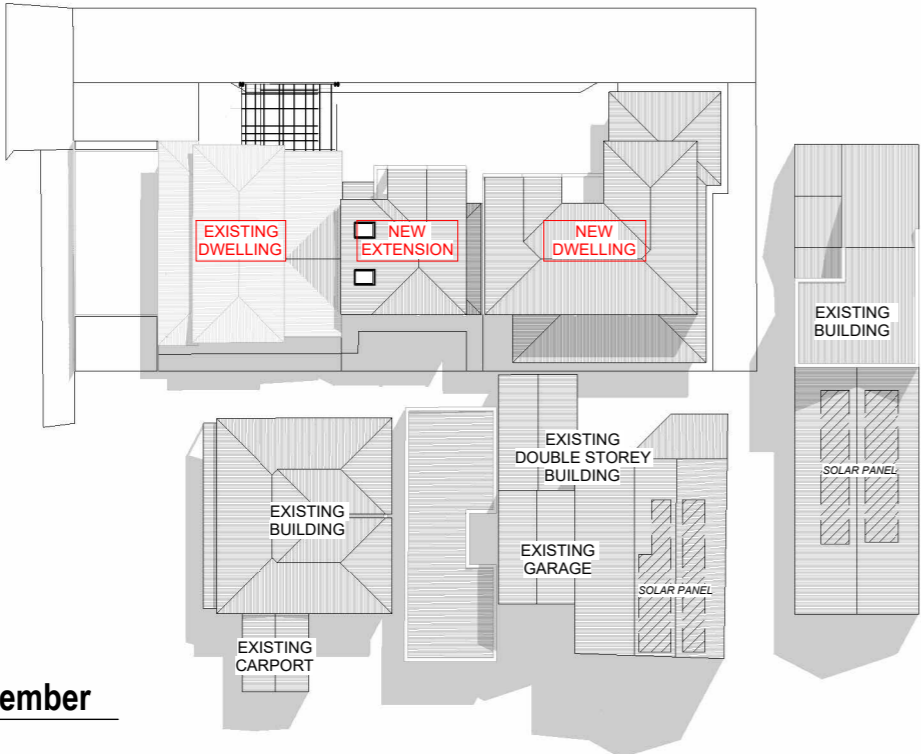
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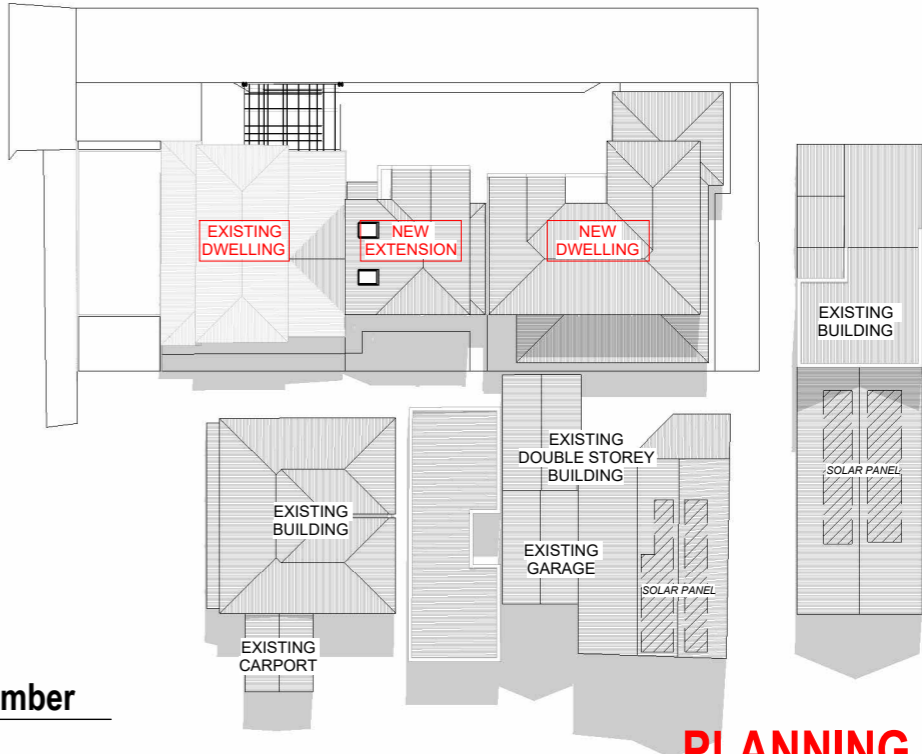
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SCALE: 1 : 400



3 11am September  
SCALE: 1 : 400



4 12pm September  
SCALE: 1 : 400

PLANNING DRAWINGS

building designer:



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revision:

rev:	date:	description:	drwn:	chk:
H	22/05/2025	NEW SHADOW DIAGRAM	DL	YG
I	26/05/2025	SECTION AND SHADOW DIAGRAM CHANGED	DL	YG

project:

**NEW DWELLING**

68 Sydenham Rd, Norwood SA 5067

**SUN STUDY - 22ND SEPTEMBER**

issue:

**FOR APPROVAL**

Y241008

550.5sqm

26/05/2025

project no:

site area:

date issued:

drawing no:

**AA014**

scale:

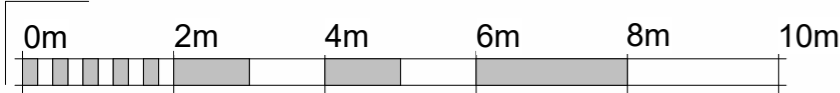
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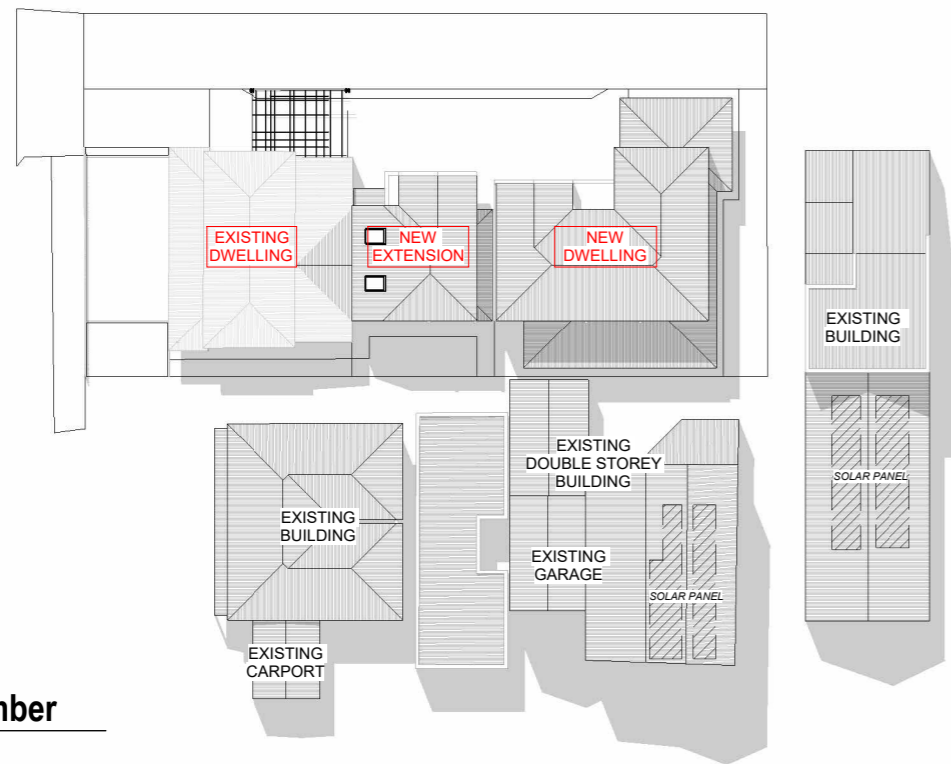
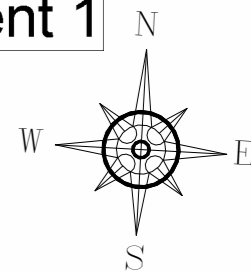
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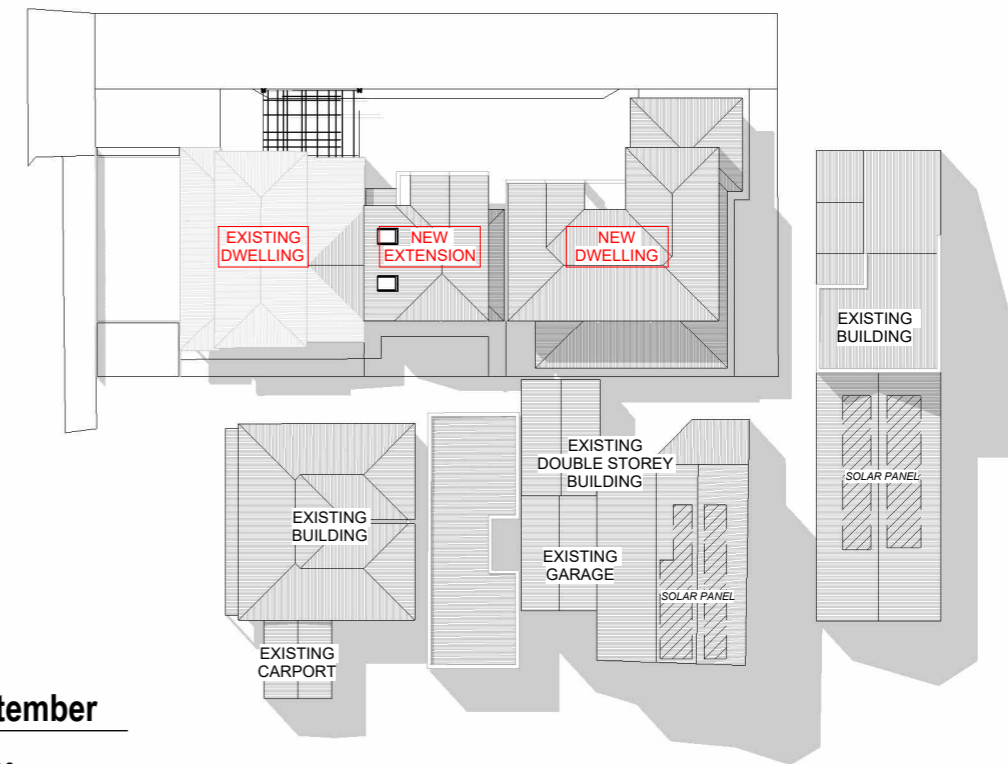
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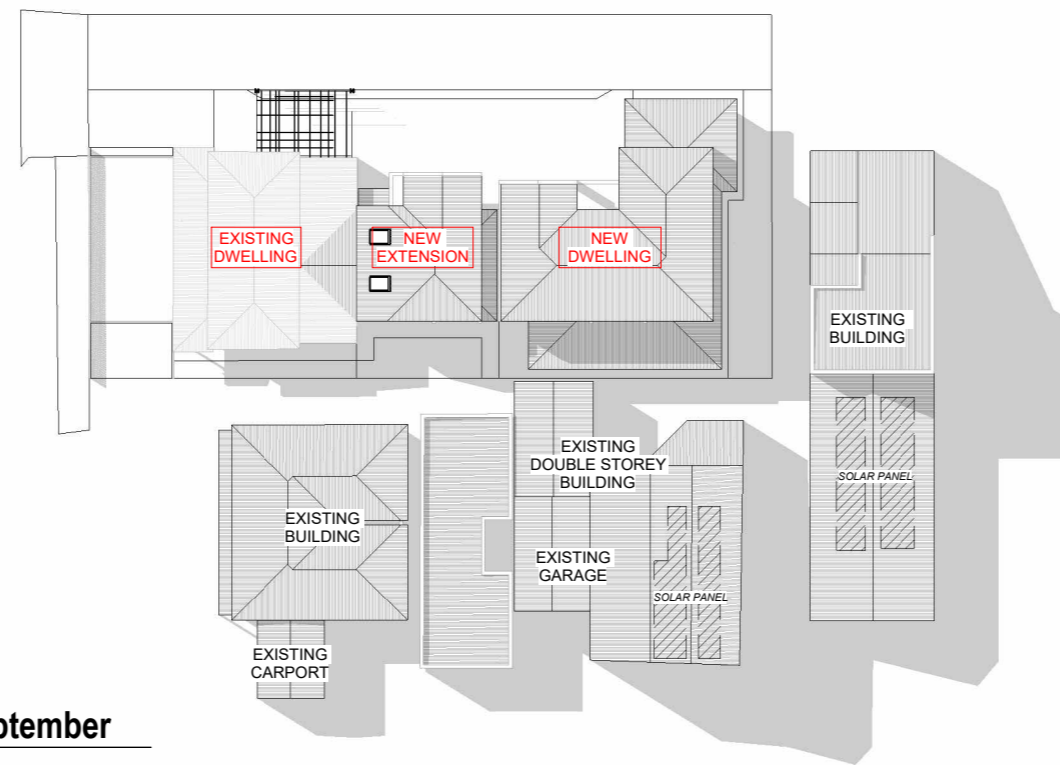
SCALE 1:100 @ A3



1 1pm September  
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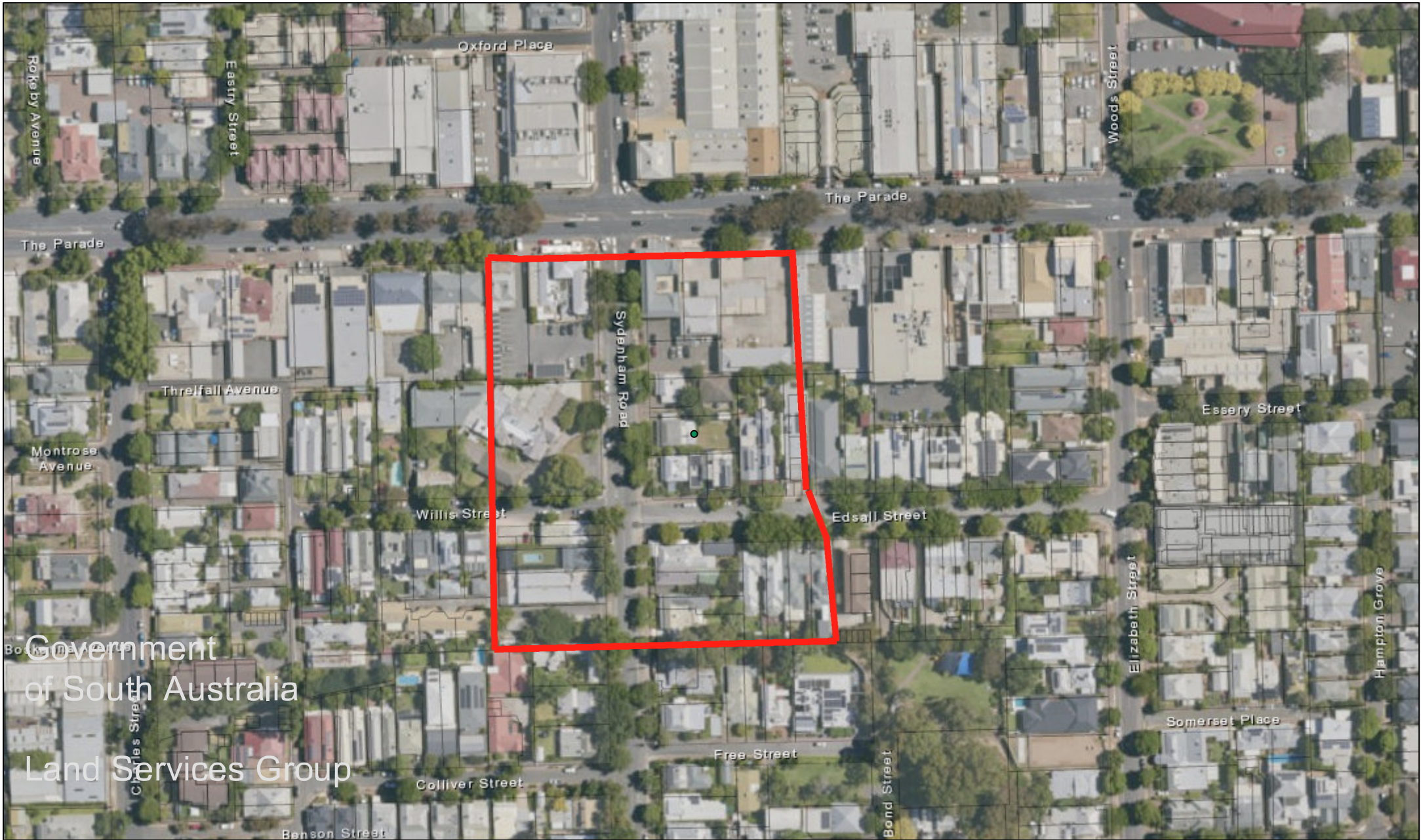
### revision:

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I	26/05/2025	SECTION AND SHADOW DIAGRAM CHANGED	DL	YG

### project:

NEW DWELLING		FOR APPROVAL	
68 Sydenham Rd, Norwood SA 5067	project:	project no:	drawing no:
	Y241008	550.5sqm	AA015
	date issued:	1 : 400 @ A3	revision:
SUN STUDY - 22ND SEPTEMBER	26/05/2025	paper size: A3	I

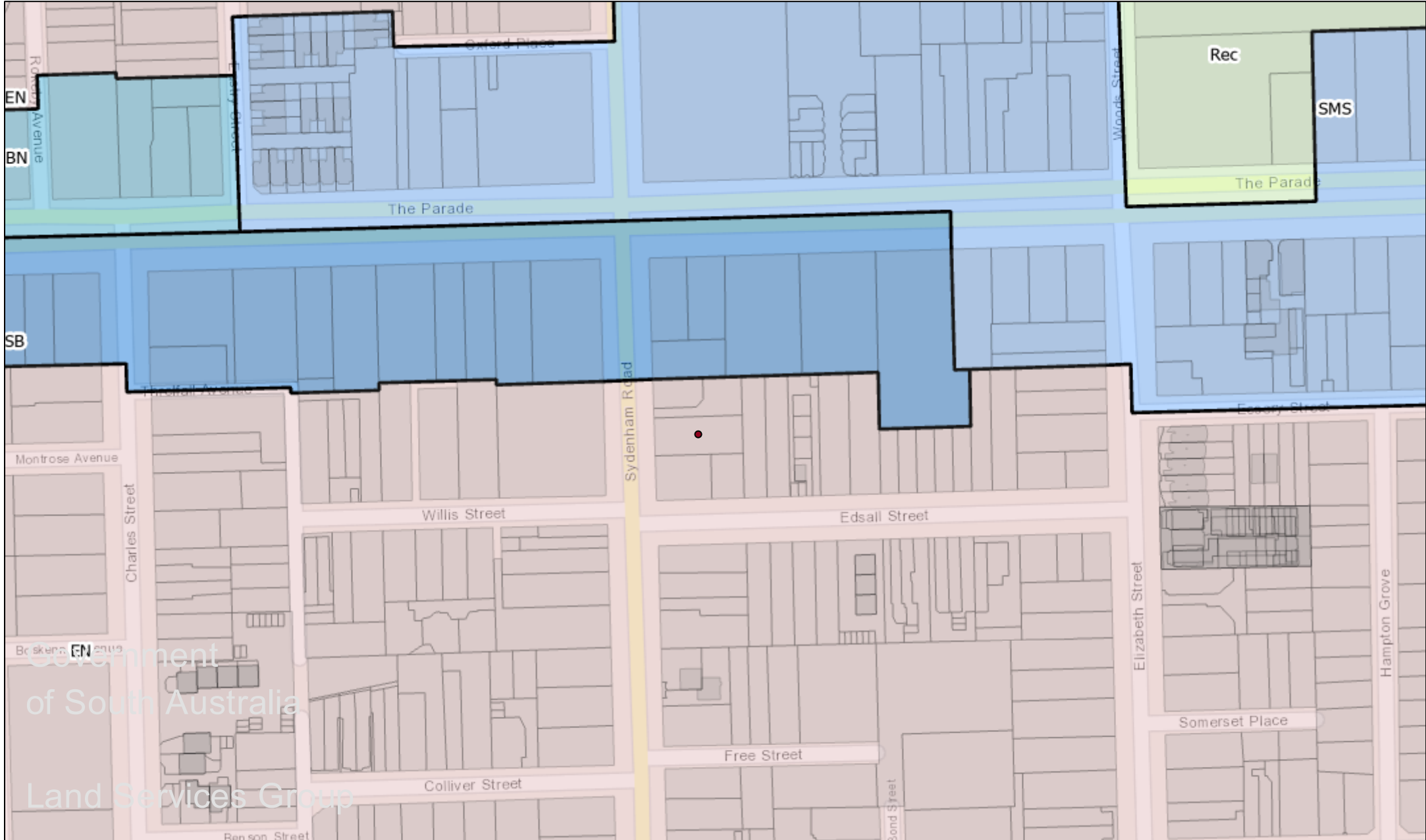
Locality Map



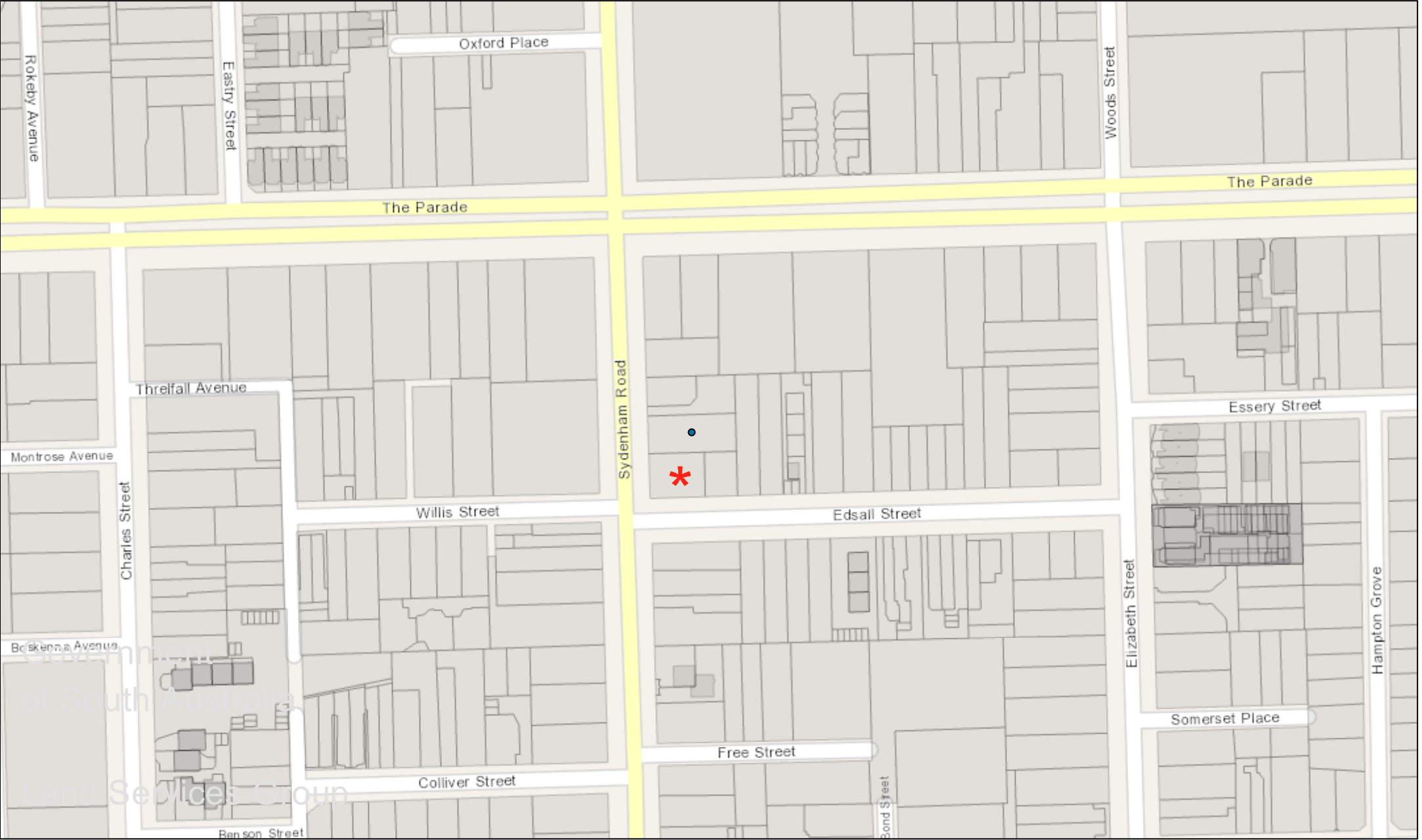
# SAPPA Report

The SA Property and Planning Atlas is available on the Plan SA website: <https://sappa.plan.sa.gov.au>

## Zoning Map



Representation Map



## Application Summary

Application ID	25001212
Proposal	Construction of a two-storey group dwelling, with change of use from a detached dwelling to a group dwelling and two-storey dwelling addition to a Local Heritage Place
Location	68 SYDENHAM RD NORWOOD SA 5067

## Representations

### Representor 1 - Lance Worrall

Name	Lance Worrall
Address	
Submission Date	12/05/2025 07:35 AM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development

### Reasons

· I oppose the Application in its present form. · My house at \_\_\_\_\_ is south of and next door to the development at no. 68. The development would result in significant deprivation of northern light to my property. · The 2011 renovation of my home restored the original bluestone cottage, preserving the heritage façade and southern side and contributing to enhanced public amenity. The project was awarded the 2012 John S Chappel prize for residential architecture. · I note positively that the proposal maintains the original bluestone cottage, and that the additional structures maintain a space with the boundary. · However the shadow diagrams supplied with the plans clearly show significant overshadowing of my property and consequential deprivation of northern light. This has adverse implications for my amenity and potentially for the efficient generation of solar power from my property. · All four north windows (living room, library, breezeway and master bedroom) will be subject to overshadowing, as shown in the shadow diagrams. The most significant effects are in the morning and midafternoon. · There is also overshadowing of the solar panels, according to the submitted plans, and a case exists for more analysis and detailed information as to extent and impacts of overshadowing of the panels. · The fundamental cause of the issue is obviously the proposal's mass, bulk and scale (two-storey and almost no garden space on the easterly dwelling). There is a low proportion of landscaped open space (LOS) to the building, and the development requirements appear to be met only by including the driveway within the LOS, representing a poor quality proposal. · Council should consider these issues and potential remedies, including reduction in scale and mass, or repositioning of certain elements of the structure. A fair and equitable outcome is needed.

## Attached Documents



May 27, 2025

Ned Feary  
City of Norwood, Payneham and St Peters  
Via: The PlanSA Portal

Dear Ned,

## RE: DA 25001212 – RESPONSE TO REPRESENTATIONS

I have been instructed by the Applicant to respond to the assertions made, and the concerns raised, in the solitary representation that was received by the City of Norwood, Payneham and St Peters.

The representor resides at \_\_\_\_\_ and opposes the proposed development. They also wish to be heard by the Council Assessment Panel (**CAP**) in relation to this matter.

It should be noted from the outset that the drawings that were publicly available during the notification period have since been revised to include additional shadow diagrams for the Autumn and Spring Equinoxes.

My responses are set out, in no particular order, below.

### Overshadowing

The representor contends that the proposed development will result in overshadowing of their property at \_\_\_\_\_, which is the adjoining property to the south of the site. Whilst they support the retention of the original bluestone cottage, they are concerned about the potential loss of northern sunlight and the overshadowing which could affect solar power generation from their property. These impacts are attributed to the proposed development's perceived excessive bulk, height and limited provision of landscaped open space.

In response to the above, I note that:

- the proposed development achieves a density that is consistent with the aspirations for the Established Neighbourhood (**EN**) Zone. For clarity, Designated Performance Feature (**DPF**) 2.1 of the EN Zone prescribes a minimum site area of 200 square metres. The existing dwelling will occupy a site of approximately 330 square metres and the new dwelling will occupy a site of approximately 220 square metres;
- both the proposed addition to the existing dwelling and the new dwelling comply with the two-level building height prescribed in DPF 4.1 of the EN Zone;
- the proposed addition to the existing dwelling will be sited behind the building line and will not project beyond a 45-degree angle measured from ground level at the building line, consistent with Performance Outcome (**PO**) 4.2 of the EN Zone;
- the southern (side) setbacks of both the dwelling addition and the new dwelling comply with DPF 8.1 of the EN Zone, as each is set back more than 3.0 metres from the southern (side) boundary of the site. Specifically, the dwelling addition will be set back 2.6 metres, and the new dwelling will be set back 2.8 metres, from the southern boundary;

- as seen within Figure 1 below, the representor's dwelling already experiences considerable overshadowing during the winter months, noting that its northern windows would likely be overshadowed by the existing fence/vegetation adjacent the shared boundary;
- the representor has raised concerns regarding the "...potential for efficient generation of solar power..." from their property, which they claim could be affected by the proposed development. However, as shown in Figures 1 and 2 below, the solar panels previously located on the rear roof of the representor's dwelling have since been removed. Accordingly, any potential impact on solar energy generation is now irrelevant.

In saying this, the Environment, Resources and Development (**ERD**) Court's judgement in relation to the matter of *Ned Ritan Design v The Corp of the City of Adelaide [2016] SAERDC 32*, identifies, at Paragraph 69 to be precise, what the relevant considerations should be when determining the acceptability of overshadowing of such improvements. The ERD Court stated:

*"As with overshadowing of the common ground, the duration of overshadowing, on days/months either side of 22 June, is a relevant consideration in determining whether overshadowing has been minimised to an acceptable level."*

As identified across the shadow diagrams, the rear roof of the representor's dwelling and the private open space area, which is located to the south of the representor's dwelling, will continue to receive direct sunlight for the three months either side of the Winter Solstice (March 22 and September 22).

- the allotment containing the existing dwelling will accommodate approximately 84.1 square metres of soft landscaping, equating to 25.3 percent of the area of the site. The new curtilage of the dwelling will accommodate approximately 33 square metres, representing 15 percent of the overall site area. Whilst this results in a shortfall of approximately 5.0 percent against the 20 percent prescribed for sites between 200 and 450 square metres in area, this is considered acceptable for the following reasons:
  - » First, the site area for the new dwelling is 220 square metres, which sits at the lower end of the applicable range, where achieving 20 percent soft landscaping can be more challenging;
  - » Second, approximately 66.3 square metres of the common driveway will comprise permeable paving, contributing to stormwater infiltration and reduced heat absorption, both of which are key objectives of Performance Outcome (**PO**) 22.1 of the Design in Urban Areas Section of the Planning and Design Code (**Code**);
  - » Third, a landscape arbour covering approximately 18.0 square metres will be integrated within the driveway area, enhancing the visual amenity of the proposed development and contributing positively to the streetscape character, consistent with the intent of PO 22.1 of the Design in Urban Areas Section of the Code.



**Figure 1** Aerial view of the site (yellow) and the representor's property (red), taken on May 11, 2025



**Figure 2** Aerial view of the site (yellow) and the representor's property (red), taken on May 4, 2024

Given that the representor has indicated their intention to address the CAP in relation to this matter, please note that I have been instructed by the Applicant to attend the forthcoming meeting and to speak on their behalf.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Mark Troncone', with a long horizontal flourish extending to the right.

**Mark Troncone**  
Senior Consultant

# HERITAGE IMPACT REPORT

bbarchitects

PROPERTY ADDRESS: **68 Sydenham Road Norwood**  
 APPLICATION NUMBER: **25001212**  
 DATE: 2 June 2025  
 PROPOSAL: Two level addition and group dwelling  
 HERITAGE STATUS: LOCAL HERITAGE PLACE  
 HERITAGE ADVISOR: David Brown, BB Architects  
 PLANNER: Edmund Feary



City of  
Norwood  
Payneham  
& St Peters

## ADVICE SOUGHT

No pre Planning Consent advice has been sought from Council's Heritage Advisor by the applicant. Following the lodgement of the application I provided advice on the earlier plans, some of that advice was incorporated into the revised scheme.

## DESCRIPTION

The building is a Local Heritage Place in the Established Neighbourhood Zone within the Norwood 5 Historic Area Overlay. The house is an early Victorian two roomed bluestone cottage and lean-to with a modified front verandah.



## PROPOSAL

The proposal is for a two-level addition behind the Local Heritage Place with a new larger two storey dwelling in the rear. The designs have a hipped roof form and two feature gables as balconies facing north. The finishes are painted render with corrugated Colorbond roofing.

## COMMENTS

The proposed new works are set at the rear of the site behind the Local Heritage Place, but due to the three side by side driveways to the north of the dwelling the view through to the addition and new dwelling will be quite open.

The addition to the rear of the existing building is set hard against the rear wall with a minor change to the original lean to roof to deal with the water runoff. Usually with an addition to a heritage place there is some physical/visual separation between the old building and the new addition to assist dealing with the inconsistencies of the old structure and allowing it to be visually read separately.

The form of the revised design has some sympathetic elements with the pitched roof, but there is no other acknowledgement of the context, and there is still a scale imbalance with the old cottage. The modified design is better than the initial proposal, with the addition form being lowered compared to the new dwelling at the rear, but it still does not sit comfortably in relation to the Local Heritage Place.

The two level new dwelling at the rear of the site is taller again, and will likely be more visible from the street due to the wide driveways. While not directly impacting the Local Heritage Place, the bulks and scale of the combined new works are still significant in comparison to the existing cottage on the site.

The materials have been modified in the revised scheme with Windspray Colorbond roofing, and beige rendered walls, which is an acceptable outcome in this context.

#### WORKS TO THE LHP

The drawings show some work to the Local Heritage Place, with a new Colorbond roof, repairs to the stone walls, and repainting the original brick quoins and dressings. Galvanised roofing is the preferred roofing material for Local Heritage Places as it is as close to the original product used when the dwelling was constructed. Colorbond in a mid grey is an acceptable outcome.

The front verandah has had several reworks over its lifetime, with the current verandah being an Interwar interpretation with a straight pitch roof. Ideally this would be removed and replaced with a more authentic verandah that better suits the age and era of the cottage when the verandah is being reroofed.

#### FENCING

The existing fences on the site are being retained throughout. The front fence is a simple white picket fence sitting on a painted Interwar brick base left over from an earlier renovation. The gates are traditional Emu wire gates.

The northern side fence at the front of the property is a low painted galvanised iron fence which is in poor condition, so is likely to need to be replaced during the build. To save the applicant lodging a separate application this could be included in this application.

#### CONCLUSION

I am still of the opinion that this proposal is not a good outcome for the Local Heritage Place in terms of the impact of the bulk and scale of the new development. The applicant has made several attempts to bring down the scale of the addition, and modified the materials and colours, but the overall proposal will have a detrimental impact on the setting and presentation of the Local Heritage Place.

# HERITAGE SURVEY : KENSINGTON & NORWOOD

Item/Place: Cottage

Survey No.: 68sydenh

Attachment 8

Address: 68 Sydenham Road, Norwood

C.T. No.: 3104-125

Present Status: Character Item

Date: June 1994



**Description:** An early single-storey Victorian cottage with hipped roof and front verandah. Notable for its attractive design and intact exterior. Set in an attractive traditional garden. Appears in reasonable condition for its age.

**History:** Appears to be circa 1850's-1860's. Associated with the original development of Sydenham Road south of the Parade.

**Streetscape Contribution:** This dwelling is the second residence back from the Parade. The building forms part of an important group of early Victorian dwellings in this part of Sydenham Road and contributes significantly to the Victorian character of the street.

**Significance:** (Relevant Development Act Criteria (Section 23(4)): (a),(b),(d)): This building is a good example of an early Victorian cottage. It is associated with the early growth of West Norwood in the 1850's-1860's (4a) and illustrates the way of life found in Sydenham Road at that time and the role of the local corner shop (4b). It is an attractive building (4d) which contributes to the Victorian character of Sydenham Road and West Norwood. It also forms part of an important group of Victorian dwellings in this part of Sydenham Road.

**Development Implication:** Retention and protection of the original form of the building, its setting and all associated original building fabric, as viewed from the road.

**RECOMMENDATION:** Local Heritage Place

**References:**

**5.2 DEVELOPMENT NUMBER ID 25010783 – STEVIE-ANN SPENCER - 16 FULLARTON RD  
NORWOOD SA 5067**

<b>DEVELOPMENT NO.:</b>	25010783
<b>APPLICANT:</b>	Stevie-Ann Spencer
<b>ADDRESS:</b>	16 FULLARTON RD NORWOOD SA 5067
<b>NATURE OF DEVELOPMENT:</b>	Variation to Development Application 24026013 to amend the approved hours of operation (Condition No. 3)
<b>ZONING INFORMATION:</b>	<p><b>Zones:</b></p> <ul style="list-style-type: none"> <li>• Suburban Business</li> </ul> <p><b>Overlays:</b></p> <ul style="list-style-type: none"> <li>• Airport Building Heights (Regulated)</li> <li>• Future Road Widening</li> <li>• Prescribed Wells Area</li> <li>• Regulated and Significant Tree</li> <li>• Traffic Generating Development</li> <li>• Urban Transport Routes</li> </ul> <p><b>Technical Numeric Variations (TNVs):</b></p> <ul style="list-style-type: none"> <li>• Maximum Building Height (Levels) (Maximum building height is 3 levels)</li> </ul>
<b>LODGEMENT DATE:</b>	21 Apr 2025
<b>RELEVANT AUTHORITY:</b>	Assessment panel at City of Norwood Payneham and St. Peters
<b>PLANNING &amp; DESIGN CODE VERSION:</b>	P&D Code (in effect) Version 2025.7 10/04/2025
<b>CATEGORY OF DEVELOPMENT:</b>	Code Assessed - Performance Assessed
<b>NOTIFICATION:</b>	No
<b>RECOMMENDING OFFICER:</b>	Kieran Fairbrother, Senior Urban Planner
<b>REFERRALS STATUTORY:</b>	Nil
<b>REFERRALS NON-STATUTORY:</b>	Nil

**CONTENTS:**

<b>APPENDIX 1:</b>	<b>Relevant P&amp;D Code Policies</b>	<b>ATTACHMENT 4:</b>	<b>Minutes from Previous Meeting</b>
<b>ATTACHMENT 1:</b>	<b>Application Documents</b>	<b>ATTACHMENT 5:</b>	<b>Approval DNF</b>
<b>ATTACHMENT 2:</b>	<b>Subject Land Map</b>	<b>ATTACHMENT 6:</b>	<b>Approval Stamped Plans</b>
<b>ATTACHMENT 3:</b>	<b>Zoning Map</b>		

## BACKGROUND & DESCRIPTION OF PROPOSAL:

At its meeting on 16 December 2024, the Council Assessment Panel granted Planning Consent to Development Application 24026013 which was for a change of use of the land to an indoor recreation centre. In so doing, the Council imposed the following condition:

*The hours of operation of the premises shall be restricted to the following times:*

- Monday to Friday (excluding public holidays), 5:00am to 7:00pm
- Saturday, 7:00am to 5:00pm.

The applicant now seeks to amend this condition to extend the approved hours of operation to:

- Monday to Friday, 5:00am to 7:30pm
- Saturday, 6:00am to 5:00pm
- Sunday, 8:00am to 4:00pm
- Public Holidays, 7:00am to 12:00pm (midday).

Because the Council Assessment Panel was the relevant authority for the original application, they remain the relevant authority for any subsequent variation – hence why this proposal is being provided to the Panel for consideration.

## SUBJECT LAND & LOCALITY:

### Site Description:

**Location reference:** 16 FULLARTON RD NORWOOD SA 5067

**Title ref.:** CT 5093/368    **Plan Parcel:** F100211 AL1    **Council:** THE CITY OF NORWOOD PAYNEHAM AND ST PETERS

Shape:	regular
Frontage width:	approx. 10m
Area:	approx. 433m <sup>2</sup>
Topography:	relatively flat
Existing Structures:	a two-storey building and associated car parking
Existing Vegetation:	nil

### Locality

The locality selected for this assessment extends along Fullarton Road for approximately 100m in both directions and includes the first few properties on both Chapel Street (east) and King William Street (west), as well as the residential properties on Edmund Street (east) that share access over the rear lane with the subject site, as shown in **Attachment 2**.

The locality is predominantly characterised by a mix of single- and two-storey buildings of non-residential land uses fronting Fullarton Road, including offices, consulting rooms, a bulky goods outlet and a personal services establishment. The Chapel Street portion of this locality is characterised by two-storey non-residential buildings, whereas Edmund Street is located within an Historic Area Overlay, characterised by single-storey historic dwellings on smaller sites, and enjoys a decent level of amenity by virtue of consistent street tree plantings and the residential nature of the street (notwithstanding it backs on to properties that front a State-maintained road).

## CONSENT TYPE REQUIRED:

Planning Consent

## CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:**  
Indoor recreation facility: Code Assessed - Performance Assessed
- **OVERALL APPLICATION CATEGORY:**  
Code Assessed - Performance Assessed
- **REASON**  
P&D Code

## PUBLIC NOTIFICATION

Public Notification was not required because:

- Section 128(1) of the *Planning, Development and Infrastructure Act 2016* states that the variation of a condition requires approval.
- Section 3(1) of the Act defines 'development'. Notably, this definition does not include the variation of a condition.
- Table 5 of the relevant Zone prescribes circumstances where public notification is required, pursuant to section 107 of the Act.
- Section 107 of the Act deals with performance assessed development. Similarly, the public notification triggers in Table 5 of the relevant zone refers to types of 'development'.
- Thus, since a variation of a condition is not 'development' as defined in the Act, it cannot be a trigger for public notification.

## PLANNING ASSESSMENT

The application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in Appendix One.

### Noise Emissions

This application seeks to change the approved hours of operation for this facility and therefore the key consideration for assessment is whether the change in hours will result in any unreasonable impacts to adjacent sensitive receivers (residential land uses). The change in hours is not anticipated to have any additional traffic or parking impact that would warrant a re-assessment of these factors. Similarly, the change in hours is not so extensive as to warrant a consideration whether there is an increase in intensity that might constitute a further change in use of the land.

Performance Outcome 1.2 of the Interface Between Land Uses module of the general development policies states:

*"Development adjacent to a site containing a sensitive receiver (or lawfully approved sensitive receiver) or zone primarily intended to accommodate sensitive receivers is designed to minimise adverse impacts."*

Performance Outcome 4.1 of the Interface Between Land Uses module of the general development policies states:

*"Development that emits noise (other than music) does not unreasonable impact the amenity of sensitive receivers (or lawfully approved sensitive receivers)."*

The corresponding Designated Performance Feature suggests that achieving compliance with the relevant *Environment Protection (Commercial and Industrial Noise) Policy* criteria will satisfy this Performance Outcome. Council administration agrees with this view.

Performance Outcome 4.6 of the Interface Between Land Uses module of the general development policies states:

*“Development incorporating music achieves suitable acoustic amenity when measured at the boundary or an adjacent sensitive receiver (or lawfully approved sensitive receiver) or zone primarily intended to accommodate sensitive receivers.”*

The corresponding Designated Performance Feature suggests that this Performance Outcome may be satisfied if any amplified music achieves a noise level no more than 8 decibels above the level of background noise measured at the nearest sensitive receiver (with specific acoustic engineering criteria applied thereto).

The Applicant supplemented their original application with an Acoustic Report, prepared by National, Noise and Vibration (an acoustic engineering firm based in New South Wales) – see **Attachment 6**.

The Acoustic Report provides details of the acoustic modelling undertaken to determine whether the proposed indoor recreation facility will achieve the relevant Environment Protection Policy criteria, to therefore satisfy the abovementioned Performance Outcomes. This modelling assumed the following parameters:

- That all doors, windows and roller doors to the premises are closed;
- That the facility is operating at full capacity (24 people) with half of those people emitting noise through raised voices;
- That two AC units are operating continuously;
- That 4 rower machines, 4 bicycles, 4 ski machines and 4 treadmills are being used simultaneously;
- That amplified music is playing continuously;
- That 7 vehicles enter and exit the site within the 15-minute assessment period, each idling for a few seconds;
- That, simultaneously, an 80kg barbell is dropped from knee height onto the floor, a barbell is dropped onto a squat rack, a 25kg dumbbell is dropped onto the floor and 25kg kettlebell is dropped onto the floor.

The modelling was based on a worst-case scenario with the facility operating at full capacity, half of the occupants raising their voices and four participants dropping heavy weights at the exact same time. In so doing, the modelling concluded that the operation of the proposed indoor recreation facility will achieve all relevant day time and nighttime noise criteria (as prescribed by the *Environment Protection Policy*) for the two closest sensitive receivers at 16 Chapel Street and 5 Edmund Street. Consequently, the proposed land use is considered to satisfy Performance Outcomes 4.1 and 4.6 of the Interface Between Land Uses module (above).

To ensure continued compliance with the relevant noise criteria is achieved, Condition No 4 imposed on the original approval reinforces the need to keep all building openings closed during the operation of the facility.

Performance Outcome 2.1 of the Interface Between Land Uses module of the general development policies states:

*“Non-residential development does not unreasonable impact the amenity of sensitive receivers (or lawfully approved sensitive receivers) or an adjacent zone primarily for sensitive receivers through its hours of operation having regard to:*

- (a) The nature of the development*
- (b) Measures to mitigate off-site impacts*
- (c) The extent to which the development is desired in the zone...”*

It is worth highlighting that the existing approved hours were conditioned based on the hours proposed by the applicant at the time of the original application and not based on any specific acoustic concerns or similar. In fact, in the original report to the Panel, it was intimated that the applicant would be at liberty to apply to vary the approved hours if they desired.

Having considered the acoustic modelling undertaken, and the fact that the facility will operate within the parameters set in the *Environment Protection Policy* completely throughout a 24-hour period, the expanded hours of operation will not have a detrimental effect on the amenity of adjacent sensitive receivers.

These hours remain consistent with hours typical of indoor recreation facilities and, as established when the original change of use application was approved, this land use is a desired land use in the Suburban Business Zone. With a frontage to a busy arterial road, it should be anticipated that this premises may operate on

Sundays and Public Holidays and so the change of hours is not considered at odds with any of the Zone's Performance Outcomes.

To this end, the proposed change of hours is consistent with what might be expected of an indoor recreation facility, consistent with what might be expected to occur on a site within the Suburban Business Zone, and consistent with the hours one might expect of a non-residential use on a site fronting an arterial road. The acoustic report provided with the original change of use application demonstrates that the land use will not have a detrimental effect to adjacent sensitive receivers at any time of day or night. Accordingly, this variation application is considered to satisfy all abovementioned Performance Outcomes and therefore is considered to warrant planning consent.

### **Question of Seriously at Variance**

Having considered the proposal against the relevant provisions of the Planning & Design Code (Version 2025.7, dated 10/04/2025), the proposal is not considered to be seriously at variance with the provisions of the Planning & Design Code because the Code anticipates extended hours of operation for non-residential land uses where the off-site impacts can be appropriately mitigated, and the proposed hours of operation are not so unreasonable that no relevant authority would consider them.

## **RECOMMENDATION**

It is recommended that the Council Assessment Panel resolve that:

1. The proposed development is not considered seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*.
2. Development Application Number 25010783, by Stevie-Ann Spencer be granted Planning Consent subject to the following conditions:

### **CONDITIONS**

#### **PLANNING CONSENT**

##### **Condition 1**

The development granted Planning Consent shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any), noting that all previous stamped plans and documentation, including conditions previously granted Planning Consent for Development Application ID No 24026013 are still applicable except where varied by this authorisation.

##### **Condition 2**

Condition No. 3 imposed on Planning Consent for Development Authorisation 24026013 is hereby deleted and replaced by the following condition.

The hours of operation of the premises shall be restricted to the following times:

- Monday to Friday, 5:00am to 7:30pm
- Saturday, 6:00am to 7:00pm
- Sunday, 8:00am to 4:00pm
- Public Holidays, 7:00am to 12:00pm (midday)

### **ADVISORY NOTES**

#### **PLANNING CONSENT**

##### **Advisory Note 1**

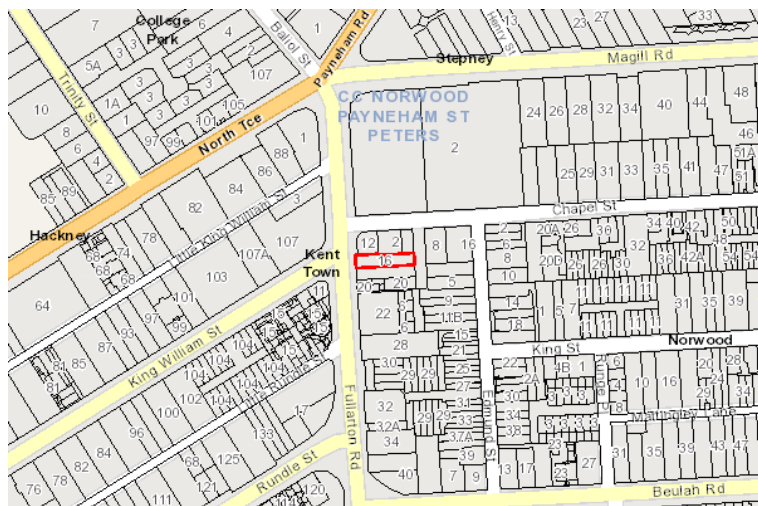
Appeal Rights - General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.

Advisory Note 2

This approval varies the original consent / approval to which it applies, but it does not extend nor vary the operative date of the original consent / approval. The consent / approval must be acted upon within the operative date applicable, unless extended by the relevant authority via separate submission.

**Address: 16 FULLARTON RD NORWOOD SA 5067**

To view a detailed interactive property map in SAPPA click on the map below



### Property Zoning Details

#### Zone

Suburban Business

#### Overlay

Airport Building Heights (Regulated) (*All structures over 45 metres*)  
 Future Road Widening  
 Prescribed Wells Area  
 Regulated and Significant Tree  
 Traffic Generating Development  
 Urban Transport Routes

#### Local Variation (TNV)

Maximum Building Height (Levels) (*Maximum building height is 3 levels*)

### Development Pathways

#### ■ Suburban Business

##### 1. Accepted Development

Means that the development type does not require planning consent (planning approval). Please ensure compliance with relevant land use and development controls in the Code.

- Brush fence
- Building alterations
- Building work on railway land
- Partial demolition of a building or structure
- Solar photovoltaic panels (roof mounted)
- Water tank (above ground)
- Water tank (underground)

##### 2. Code Assessed - Deemed to Satisfy

Means that the development type requires consent (planning approval). Please ensure compliance with relevant land use and development controls in the Code.

- Advertisement
- Ancillary accommodation
- Carport
- Consulting room
- Deck

- Dwelling or residential flat building undertaken by:
  - (a) the South Australian Housing Trust either individually or jointly with other persons or bodies
  - or
  - (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.
- Office
- Outbuilding
- Replacement building
- Shop
- Temporary accommodation in an area affected by bushfire
- Verandah

### 3. Code Assessed - Performance Assessed

Performance Assessed development types listed below are those for which the Code identifies relevant policies.

Additional development types that are not listed as Accepted, Deemed to Satisfy or Restricted default to a Performance assessed Pathway. Please contact your local council for more information.

- Advertisement
- Ancillary accommodation
- Carport
- Consulting room
- Deck
- Demolition
- Detached dwelling
- Dwelling addition
- Dwelling or residential flat building undertaken by:
  - (a) the South Australian Housing Trust either individually or jointly with other persons or bodies
  - or
  - (b) a provider registered under the Community Housing National Law participating in a program relating to the renewal of housing endorsed by the South Australian Housing Trust.
- Fence
- Group dwelling
- Land division
- Light industry
- Office
- Outbuilding
- Residential flat building
- Retaining wall
- Row dwelling
- Semi-detached dwelling
- Service trade premises
- Shop
- Store
- Tree-damaging activity
- Verandah
- Warehouse

### 4. Impact Assessed - Restricted

Means that the development type requires approval. Classes of development that are classified as Restricted are listed in Table 4 of the relevant Zones.

## Part 2 - Zones and Sub Zones

### Suburban Business Zone

#### Assessment Provisions (AP)

## Desired Outcome (DO)

Desired Outcome	
DO 1	A business and innovation precinct that includes a range of emerging businesses which have low level off-site impacts. Residential development within the area is subordinate to employment uses and generally includes medium-density housing designed to complement and not prejudice the operation of existing businesses.
DO 2	A zone characterised by low-rise buildings with additional height in well serviced and accessible locations.

## Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome	Deemed-to-Satisfy Criteria / Designated Performance Feature
Land Use and Intensity	
<p>PO 1.1</p> <p>Shops, office, consulting room, low-impact industry and other non-residential uses are supported by a variety of compact, medium density housing and accommodation types.</p>	<p>DTS/DPF 1.1</p> <p>Development comprises one or more of the following:</p> <ul style="list-style-type: none"> <li>(a) Consulting room</li> <li>(b) Dwelling</li> <li>(c) Institutional facility</li> <li>(d) Light industry</li> <li>(e) Motor repair station</li> <li>(f) Office</li> <li>(g) Residential flat building</li> <li>(h) Retail fuel outlet</li> <li>(i) Service trade premises</li> <li>(j) Shop</li> <li>(k) Store</li> <li>(l) Warehouse</li> </ul>
<p>PO 1.2</p> <p>Retail, business and commercial development is of a scale that provides a local convenience service without undermining the vibrancy and function of zones primarily intended to accommodate such development.</p>	<p>DTS/DPF 1.2</p> <p>Shops, offices and consulting rooms do not exceed 500m<sup>2</sup> in gross leasable floor area.</p>
<p>PO 1.3</p> <p>Compact, medium density residential development does not prejudice the operation of non-residential activity within the zone.</p>	<p>DTS/DPF 1.3</p> <p>None are applicable.</p>
<p>PO 1.4</p> <p>Changes in the use of land between similar businesses encourages the efficient reuse of commercial premises and supports continued local access to a range of services compatible to the locality.</p>	<p>DTS/DPF 1.4</p> <p>A change of use to a shop, office or consulting room or any combination of these uses where all of the following are achieved:</p> <ul style="list-style-type: none"> <li>(a) the area to be occupied by the proposed development is in an existing building and is currently used as a shop, office, consulting room or any combination of these uses</li> <li>(b) if the proposed the change in use is for a shop: <ul style="list-style-type: none"> <li>(i) the total gross leasable floor area of the shop will not exceed 500m<sup>2</sup></li> <li>(ii) if primarily involving the handling and sale of foodstuffs, areas used for the storage and collection of refuse are sited at least 10m from the site of a dwelling (other than a dwelling directly associated with the proposed shop)</li> <li>(iii) if primarily involving heating and cooking of foodstuffs in a commercial kitchen and is within 30m of any residential allotment within a neighbourhood-type zone boundary or a dwelling (other than a dwelling directly associated with the proposed shop), an exhaust duct</li> </ul> </li> </ul>

**Interface between Land Uses**

**Assessment Provisions (AP)**

Desired Outcome (DO)

Desired Outcome	
DO 1	Development is located and designed to mitigate adverse effects on or from neighbouring and proximate land uses.

Performance Outcomes (PO) and Deemed-to-Satisfy (DTS) Criteria / Designated Performance Feature (DPF)

Performance Outcome		Deemed-to-Satisfy Criteria / Designated Performance Feature									
General Land Use Compatibility											
PO 1.1	Sensitive receivers are designed and sited to protect residents and occupants from adverse impacts generated by lawfully existing land uses (or lawfully approved land uses) and land uses desired in the zone.	DTS/DPF 1.1 None are applicable.									
PO 1.2	Development adjacent to a site containing a sensitive receiver (or lawfully approved sensitive receiver) or zone primarily intended to accommodate sensitive receivers is designed to minimise adverse impacts.	DTS/DPF 1.2 None are applicable.									
Hours of Operation											
PO 2.1	Non-residential development does not unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers) or an adjacent zone primarily for sensitive receivers through its hours of operation having regard to:  (a) the nature of the development (b) measures to mitigate off-site impacts (c) the extent to which the development is desired in the zone (d) measures that might be taken in an adjacent zone primarily for sensitive receivers that mitigate adverse impacts without unreasonably compromising the intended use of that land.	DTS/DPF 2.1 Development operating within the following hours: <table><tr><th>Class of Development</th><th>Hours of operation</th></tr><tr><td>Consulting room</td><td>7am to 9pm, Monday to Friday 8am to 5pm, Saturday</td></tr><tr><td>Office</td><td>7am to 9pm, Monday to Friday 8am to 5pm, Saturday</td></tr><tr><td>Shop, other than any one or combination of the following:  (a) restaurant (b) cellar door in the Productive Rural Landscape Zone, Rural Zone or Rural Horticulture Zone</td><td>7am to 9pm, Monday to Friday 8am to 5pm, Saturday and Sunday</td></tr></table>		Class of Development	Hours of operation	Consulting room	7am to 9pm, Monday to Friday 8am to 5pm, Saturday	Office	7am to 9pm, Monday to Friday 8am to 5pm, Saturday	Shop, other than any one or combination of the following:  (a) restaurant (b) cellar door in the Productive Rural Landscape Zone, Rural Zone or Rural Horticulture Zone	7am to 9pm, Monday to Friday 8am to 5pm, Saturday and Sunday
Class of Development	Hours of operation										
Consulting room	7am to 9pm, Monday to Friday 8am to 5pm, Saturday										
Office	7am to 9pm, Monday to Friday 8am to 5pm, Saturday										
Shop, other than any one or combination of the following:  (a) restaurant (b) cellar door in the Productive Rural Landscape Zone, Rural Zone or Rural Horticulture Zone	7am to 9pm, Monday to Friday 8am to 5pm, Saturday and Sunday										
Overshadowing											
PO 3.1	Overshadowing of habitable room windows of adjacent residential land uses in:  a. a neighbourhood-type zone is minimised to maintain access to direct winter sunlight b. other zones is managed to enable access to direct winter sunlight.	DTS/DPF 3.1 North-facing windows of habitable rooms of adjacent residential land uses in a neighbourhood-type zone receive at least 3 hours of direct sunlight between 9.00am and 3.00pm on 21 June.									
PO 3.2	Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in:	DTS/DPF 3.2 Development maintains 2 hours of direct sunlight between 9.00 am and 3.00 pm on 21 June to adjacent residential land uses in a									

<p>a. a neighbourhood type zone is minimised to maintain access to direct winter sunlight</p> <p>b. other zones is managed to enable access to direct winter sunlight.</p>	<p>neighbourhood-type zone in accordance with the following:</p> <p>a. for ground level private open space, the smaller of the following:</p> <p>i. half the existing ground level open space</p> <p>or</p> <p>ii. 35m<sup>2</sup> of the existing ground level open space (with at least one of the area's dimensions measuring 2.5m)</p> <p>b. for ground level communal open space, at least half of the existing ground level open space.</p>
<p>PO 3.3</p> <p>Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:</p> <p>(a) the form of development contemplated in the zone</p> <p>(b) the orientation of the solar energy facilities</p> <p>(c) the extent to which the solar energy facilities are already overshadowed.</p>	<p>DTS/DPF 3.3</p> <p>None are applicable.</p>
<p>PO 3.4</p> <p>Development that incorporates moving parts, including windmills and wind farms, are located and operated to not cause unreasonable nuisance to nearby dwellings and tourist accommodation caused by shadow flicker.</p>	<p>DTS/DPF 3.4</p> <p>None are applicable.</p>
Activities Generating Noise or Vibration	
<p>PO 4.1</p> <p>Development that emits noise (other than music) does not unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers).</p>	<p>DTS/DPF 4.1</p> <p>Noise that affects sensitive receivers achieves the relevant Environment Protection (Commercial and Industrial Noise) Policy criteria.</p>
<p>PO 4.2</p> <p>Areas for the on-site manoeuvring of service and delivery vehicles, plant and equipment, outdoor work spaces (and the like) are designed and sited to not unreasonably impact the amenity of adjacent sensitive receivers (or lawfully approved sensitive receivers) and zones primarily intended to accommodate sensitive receivers due to noise and vibration by adopting techniques including:</p> <p>(a) locating openings of buildings and associated services away from the interface with the adjacent sensitive receivers and zones primarily intended to accommodate sensitive receivers</p> <p>(b) when sited outdoors, locating such areas as far as practicable from adjacent sensitive receivers and zones primarily intended to accommodate sensitive receivers</p> <p>(c) housing plant and equipment within an enclosed structure or acoustic enclosure</p> <p>(d) providing a suitable acoustic barrier between the plant and / or equipment and the adjacent sensitive receiver boundary or zone.</p>	<p>DTS/DPF 4.2</p> <p>None are applicable.</p>
<p>PO 4.3</p> <p>Fixed plant and equipment in the form of pumps and/or filtration systems for a swimming pool or spa are positioned and/or housed to not cause unreasonable noise nuisance to adjacent sensitive receivers (or lawfully approved sensitive receivers).</p>	<p>DTS/DPF 4.3</p> <p>The pump and/or filtration system ancillary to a dwelling erected on the same site is:</p> <p>(a) enclosed in a solid acoustic structure located at least 5m from the nearest habitable room located on an adjoining allotment</p> <p>or</p> <p>(b) located at least 12m from the nearest habitable room located on an adjoining allotment.</p>
<p>PO 4.4</p> <p>External noise into bedrooms is minimised by separating or shielding</p>	<p>DTS/DPF 4.4</p> <p>Adjacent land is used for residential purposes.</p>

these rooms from service equipment areas and fixed noise sources located on the same or an adjoining allotment.					
<p>PO 4.5</p> <p>Outdoor areas associated with licensed premises (such as beer gardens or dining areas) are designed and/or sited to not cause unreasonable noise impact on existing adjacent sensitive receivers (or lawfully approved sensitive receivers).</p>	<p>DTS/DPF 4.5</p> <p>None are applicable.</p>				
<p>PO 4.6</p> <p>Development incorporating music achieves suitable acoustic amenity when measured at the boundary of an adjacent sensitive receiver (or lawfully approved sensitive receiver) or zone primarily intended to accommodate sensitive receivers.</p>	<p>DTS/DPF 4.6</p> <p>Development incorporating music includes noise attenuation measures that will achieve the following noise levels:</p> <table border="1"> <thead> <tr> <th>Assessment location</th><th>Music noise level</th></tr> </thead> <tbody> <tr> <td>Externally at the nearest existing or envisaged noise sensitive location</td><td>Less than 8dB above the level of background noise (<math>L_{90,15min}</math>) in any octave band of the sound spectrum (<math>LOCT_{10,15} &lt; LOCT_{90,15} + 8dB</math>)</td></tr> </tbody> </table>	Assessment location	Music noise level	Externally at the nearest existing or envisaged noise sensitive location	Less than 8dB above the level of background noise ( $L_{90,15min}$ ) in any octave band of the sound spectrum ( $LOCT_{10,15} < LOCT_{90,15} + 8dB$ )
Assessment location	Music noise level				
Externally at the nearest existing or envisaged noise sensitive location	Less than 8dB above the level of background noise ( $L_{90,15min}$ ) in any octave band of the sound spectrum ( $LOCT_{10,15} < LOCT_{90,15} + 8dB$ )				

13/4/2025  
24-363

Mr Kieran Fairbrother  
Senior Planning Officer  
City of Norwood, Payneham and St Peters Council

**Variation to Development Application 24026013 – Hours of operation to include Monday to Friday until 7:30pm, Saturday from 6:00am, Sunday 8am-4:00pm and public holidays 7:00am-12:00 Noon at 16 Fullarton Road, Norwood**

Dear Kieran

I hope that you are well. As per your discussion with the operator Ms Stevie-Ann Spencer I have been asked to submit this application for variation to development application 24026013 for additional hours of operation of the approved indoor recreation facility (fitness centre) at the above address.

**Background**

At the Council Assessment Panel (CAP) meeting of 16 December 2024 development application 24026013 for indoor recreation facility (fitness centre) was approved with a reserved matter. On 12 February 2025 the development received development approval.

**Subject site and locality**

The subject site is described in Certificate of Title Volume 5093 Folio 368 as being Allotment 1 in Filed Plan 100211.

The subject site is rectangular in shape with a kink located approximately half way down the width. The site area is approximately 435 square metres.

The subject site has a dual frontage of approximately 10 metres to Fullarton Road and 9.1 metres to A rear private road. The site currently contains a previously used two storey office building and seven carpark spaces (four in front of the building and three behind).

The immediate locality comprises offices adjoining on the north, south and east. Residential properties are situated in a south-easterly direction.

**Proposal**

The existing approved hours of operation are:

- Monday to Friday (excluding public holidays), 5:00am to 7:00pm
- Saturday, 7:00am to 5:00pm

The proposed new hours of operation are:

- Monday to Friday, 5:00am - 7.30pm (half hour longer)
- Saturday, 6:00am (one hour earlier)
- Sunday, 8:00am to 4:00pm (currently closed)
- Public holidays, 7:00am to 12:00 Noon (currently closed)

Although when the music is played at full volume within the building it is barely audible outside of the building these additional hours are designed generally (one standard session is proposed at 8:00am Sunday morning) for more recovery relaxation sessions where the music will be turned down to ensure there is no adverse acoustic impacts.

The existing music amplifier has been locked by the owner so the staff are unable to turn the volume up any further to further full proof any potential for adverse acoustic impacts.

In terms of carparking the owner has negotiated an informal agreement with the adjoining northern land owner Kingston wines which provides an additional 10 off-site spaces which are available before 7:00am, after 4:00pm and at all times on the weekend. This helps to reduce the carparking needs on adjoining streets.

In terms of the consideration of the acoustic impacts I provide the following acoustic engineer advice:

- The gym has been assessed by NNV in their report of 12 August 2024 against the Deemed to Satisfy requirements of the *Environment Protection (Industrial and Commercial) Noise Policy 2023* (the **Policy**).
- The Policy establishes a conservative objective noise level criterion for continuous operation of new development between 10.00pm and 7.00am and then a relaxed but still conservative objective noise level criterion for continuous operation of new development between 7.00am and 10.00pm.
- If a new development is assessed to be compliant with the Policy criterion before 7.00am, then the way the Policy works would mean that the same development operations would be compliant for any hours before 7.00am on any day. That is, if the development has been assessed as compliant from 5.00am on a Tuesday, it would be compliant from 5.00am on a Saturday or Sunday. It would also be compliant from 2.00am on a Tuesday and so on. Therefore, the proposed addition of 6:00am Saturday and introduction of hours on Sunday and public

holidays are compliant with the Policy criterion as the application has approved commencement of the use at 5:00am during the week.

- The same applies for a new development assessed to be compliant with the Policy criterion after 7.00am. That is, if the new development has been assessed as compliant up to 7.00pm on a Tuesday, then it would still be compliant for an extension to 7.30pm (indeed up to 10.00pm). Therefore, the proposed addition of 7:30pm Monday to Friday is compliant with the Policy criterion as the noise impacts for the application have been effectively approved until 10:00pm during the week.
- Music is treated differently to other activity at the gym, and is reliant on the time sought, and so the above points do not apply to music. As mentioned above the addition of Sunday and public holiday hours are to undertake recovery gym sessions involving relaxation, stretching and Yoga classes. These sessions use a lower level of music to provide a more tranquil environment and experience. The lower level of music to be played during these sessions will be inaudible outside of the building and therefore will not negatively impact on adjoining sensitive receivers. To appease any concerns that Council may have with music impacts the owner commits to a condition that music will be inaudible when measured at any sensitive receiver during all of the proposed variation hours.

## Public Notification

Table 5, does not list a change of hours of operation however previous case law has determined that a change in hours of operation of an existing established use is not subject to public notification.

## Assessment

### Approach to Assessment

Part 1 – Rules of Interpretation of the Planning and Design Code (the Code) provides clarity on how to interpret the policies in the Code. Of particular note ‘Designated Performance Features’ (DPF) assist Councils to interpret Performance Outcomes (PO).

The Rules of Interpretation clearly state that a DPF provides a guide but does not need to necessarily be satisfied in order for a certain development to meet the PO (i.e. the outcome can be met in another way):

In order to assist a relevant authority to interpret the performance outcomes, in some cases the policy **includes a standard outcome which will generally meet the corresponding performance outcome** (a designated performance feature or DPF). **A DPF provides a guide to a relevant authority as to what is generally considered to satisfy the corresponding performance outcome but does not need to necessarily be satisfied to meet the performance outcome** and does not derogate from the discretion to determine that the outcome is met in another way, or from the need to assess development on its merits against all relevant policies (emphasis added).

It is with the above approach in mind that I have assessed this development.

### **Suburban Business Zone**

The existing approved indoor recreation centre (fitness centre) is an established use which is not changing and is therefore considered to be appropriate as a land use.

### **Overlays (relevant)**

Traffic Generating Development Overlay – The proposed additional hours do not change the nature of vehicle movements or increase the number or frequency of movements through an existing access and therefore the application is not subject to a referral to the Commission of Highways.

### **General Development Policies (relevant)**

Interference between Land Uses – The indoor recreation centre (fitness centre) is approved in the Zone. With this in mind, some amenity impacts are anticipated.

In terms of the consideration of the acoustic impacts informal acoustic engineering advice has been obtained which states:

- The gym has been assessed by NNV in their report of 12 August 2024 against the Deemed to Satisfy requirements of the *Environment Protection (Industrial and Commercial) Noise Policy 2023* (the **Policy**).
- The Policy establishes a conservative objective noise level criterion for continuous operation of new development between 10.00pm and 7.00am and then a relaxed but still conservative objective noise level criterion for continuous operation of new development between 7.00am and 10.00pm.
- If a new development is assessed to be compliant with the Policy criterion before 7.00am, then the way the Policy works would mean that the same development operations would be compliant for any hours before 7.00am on any day. That is, if the development has been assessed as compliant from 5.00am on a Tuesday, it would be compliant from 5.00am on a Saturday or Sunday. It would also be compliant from 2.00am on a Tuesday and so on. Therefore, the proposed addition of 6:00am Saturday and introduction of hours on Sunday and public holidays are compliant with the Policy criterion as the application has approved commencement of the use at 5:00am during the week.
- The same applies for a new development assessed to be compliant with the Policy criterion after 7.00am. That is, if the new development has been assessed as compliant up to 7.00pm on a Tuesday, then it would still be compliant for an extension to 7.30pm (indeed up to 10.00pm). Therefore, the proposed addition of 7:30pm Monday to Friday is compliant with the Policy

criterion as the noise impacts for the application have been effectively approved until 10:00pm during the week.

- Music is treated differently to other activity at the gym, and is reliant on the time sought, and so the above points do not apply to music. As mentioned above the addition of Sunday and public holiday hours are to undertake recovery gym sessions (aside from one Sunday session at 8:00am) involving relaxation, stretching and Yoga classes. These sessions use a lower level of music to provide a more tranquil environment and experience. The lower level of music to be played during these sessions will be inaudible outside of the building and therefore will not negatively impact on adjoining sensitive receivers. To appease any concerns that Council may have with music impacts the owner commits to a condition that music will be inaudible when measured at any sensitive receiver during all of the proposed variation hours.

On this basis the proposal accords with PO 1.1, PO 1.2, DPF 4.1 and PO 4.1 of the Interface between land uses Code policy.

## Summary

Overall, the proposal is considered to exhibit the following merit:

- Reasonable expansion of trading hours to a lawful existing approved use;
- There are no physical changes or changes to capacity proposed;
- Operating to the hours proposed will not create unreasonable amenity impacts on nearby sensitive receivers within the Established Neighbourhood Zone nor on the operation and function of commercial uses on neighbouring sites;
- Any vehicle movements and carpark use, associated with the trading hours proposed, will occur when the adjoining commercial uses will be closed; and
- There is no contravention with the proposal re the state overlays that apply to the site.

In my professional view the application demonstrates sufficient merit to warrant the granting of planning consent.

We look forward to Council's favourable consideration of the application.

Yours sincerely,

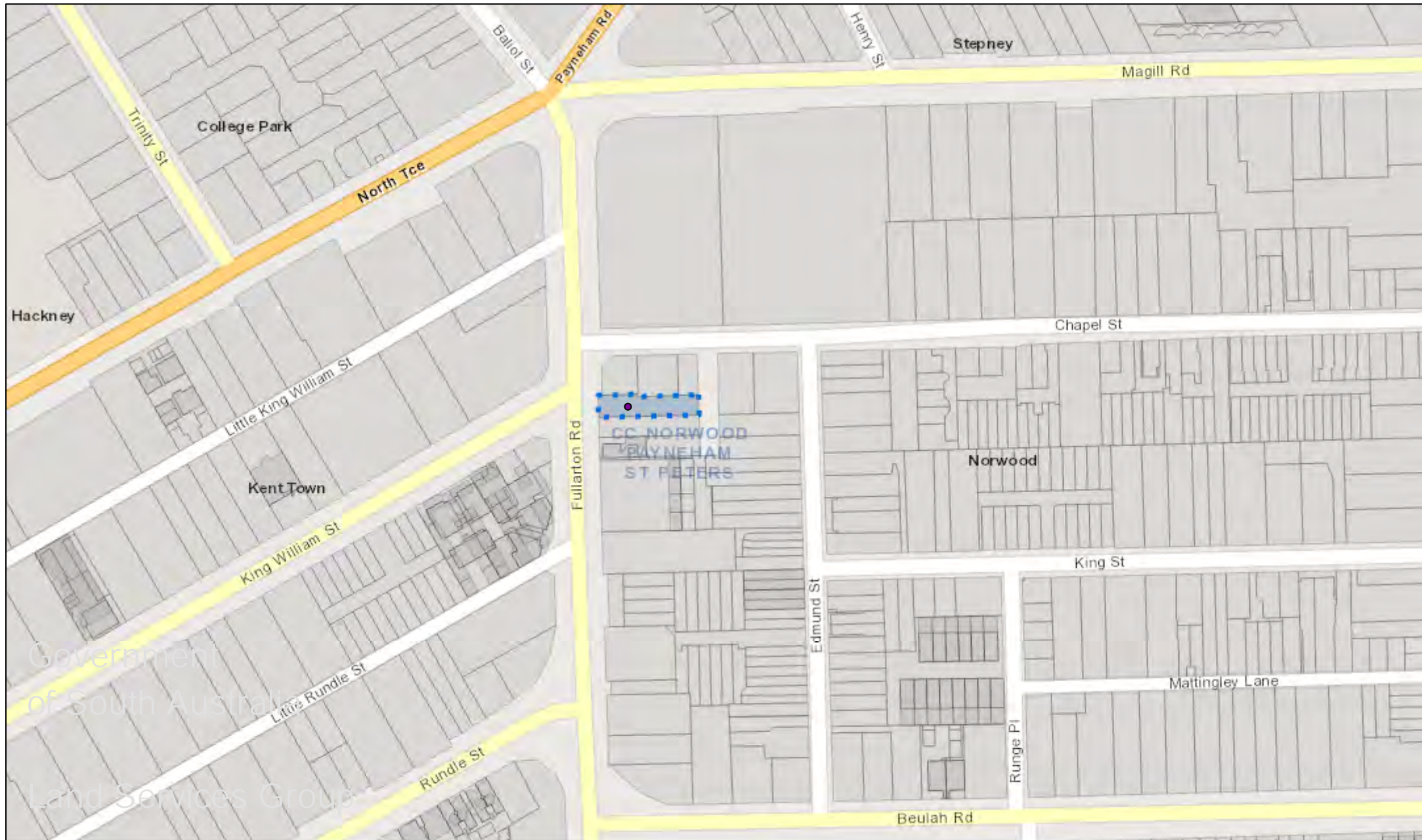
A handwritten signature in black ink, appearing to read 'Steve Tilbrook'.

Steve Tilbrook  
**Principal**

# SAPPA Report

The SA Property and Planning Atlas is available on the Plan SA website: <https://sappa.plan.sa.gov.au>

## Subject Land Map

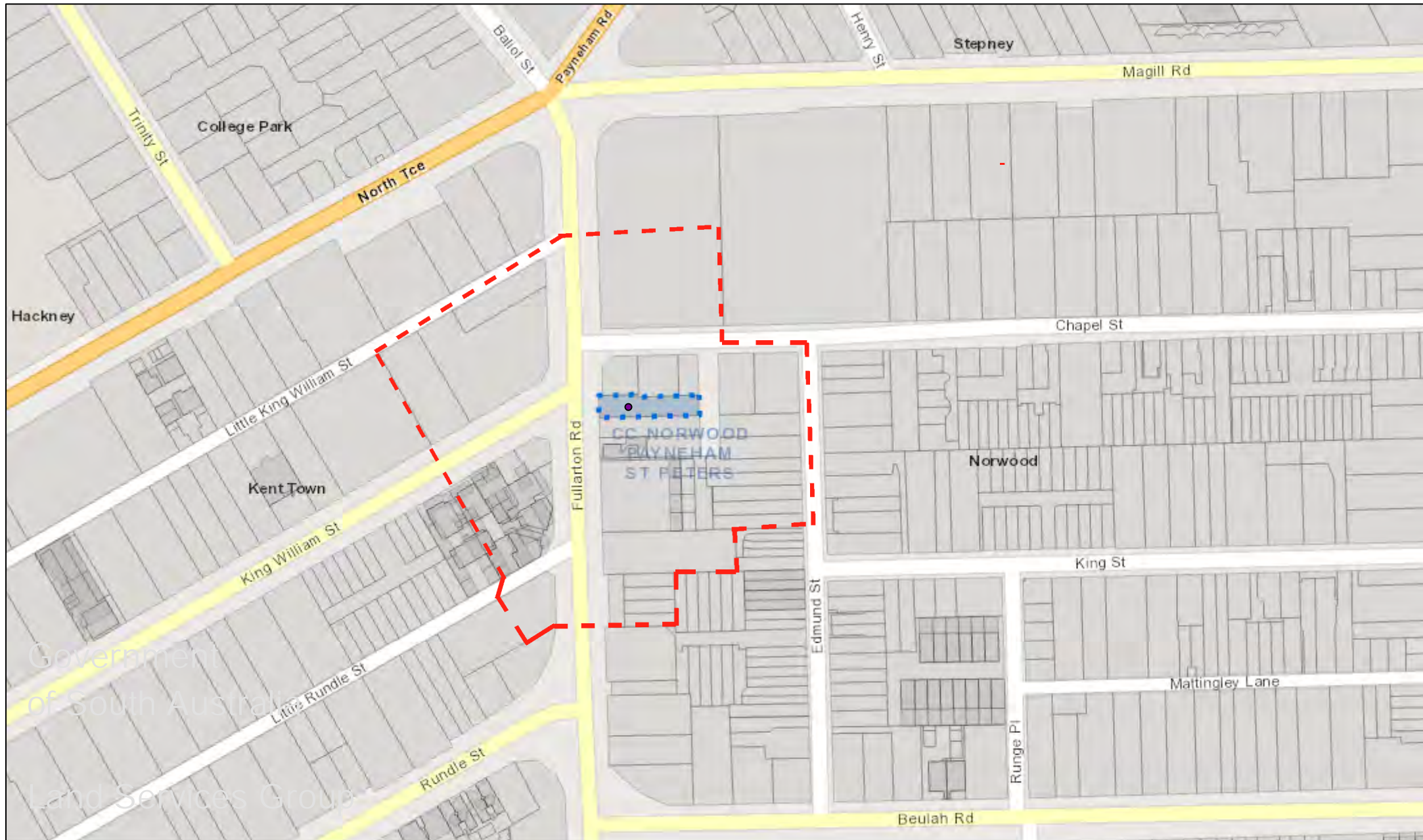


**Disclaimer:** The information provided above, is not represented to be accurate, current or complete at the time of printing this report. The Government of South Australia accepts no liability for the use of this data, or any reliance placed on it.

# SAPPA Report

The SA Property and Planning Atlas is available on the Plan SA website: <https://sappa.plan.sa.gov.au>

## Locality Map

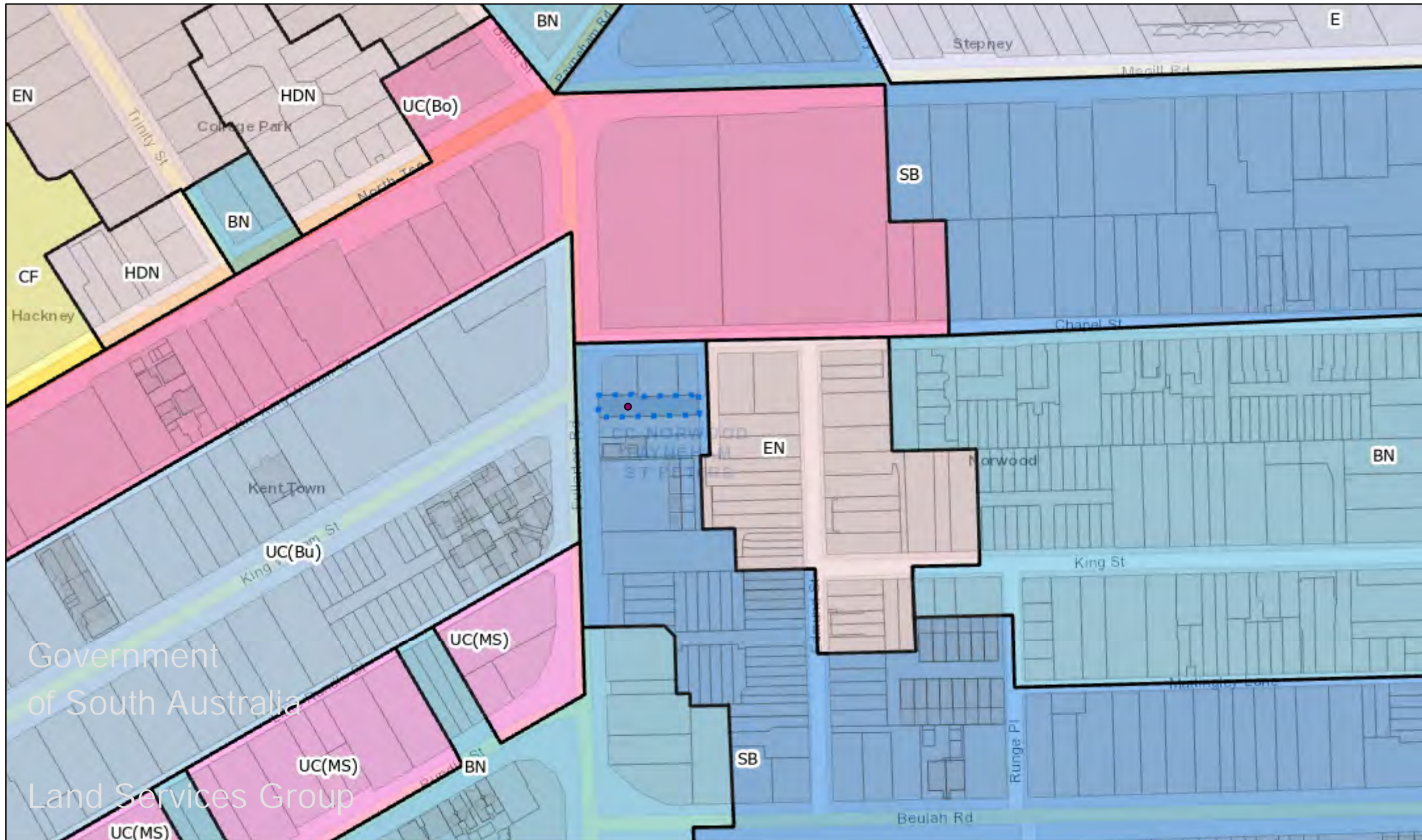


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# SAPPA Report

The SA Property and Planning Atlas is available on the Plan SA website: <https://sappa.plan.sa.gov.au>

## Zoning Map



## 5. DEVELOPMENT APPLICATIONS – PDI ACT

5.1 DEVELOPMENT NUMBER – ID 24026013 – STEVIE-ANN SPENCER –  
16 FULLARTON ROAD NORWOOD

<b>DEVELOPMENT NO.:</b>	24026013
<b>APPLICANT:</b>	Stevie-Ann Spencer
<b>ADDRESS:</b>	16 FULLARTON RD NORWOOD SA 5067
<b>NATURE OF DEVELOPMENT:</b>	Change of use to an indoor recreation centre (fitness centre)
<b>ZONING INFORMATION:</b>	<b>Zones:</b> <ul style="list-style-type: none"> <li>• Suburban Business</li> </ul> <b>Overlays:</b> <ul style="list-style-type: none"> <li>• Airport Building Heights (Regulated)</li> <li>• Future Road Widening</li> <li>• Prescribed Wells Area</li> <li>• Regulated and Significant Tree</li> <li>• Traffic Generating Development</li> <li>• Urban Transport Routes</li> </ul> <b>Technical Numeric Variations (TNVs):</b> <ul style="list-style-type: none"> <li>• Maximum Building Height (Levels) (Maximum building height is 3 levels)</li> </ul>
<b>LODGEMENT DATE:</b>	27 Aug 2024
<b>RELEVANT AUTHORITY:</b>	Assessment panel at City of Norwood, Payneham & St Peters
<b>PLANNING &amp; DESIGN CODE VERSION:</b>	P&D Code (in effect) Version 2024.15 15/8/2024
<b>CATEGORY OF DEVELOPMENT:</b>	Code Assessed - Performance Assessed
<b>NOTIFICATION:</b>	Yes
<b>RECOMMENDING OFFICER:</b>	Kieran Fairbrother, Senior Urban Planner
<b>REFERRALS STATUTORY:</b>	Commissioner of Highways
<b>REFERRALS NON-STATUTORY:</b>	Rebecca Van Der Pennen, Traffic Engineer

**CONTENTS:**

APPENDIX 1:	Relevant P&D Code Policies	ATTACHMENT 5:	Representations
ATTACHMENT 1:	Application Documents	ATTACHMENT 6:	Response to Representations
ATTACHMENT 2:	Subject Land Map	ATTACHMENT 7:	Prescribed Body Responses
ATTACHMENT 3:	Zoning Map	ATTACHMENT 8:	Internal Referral Advice
ATTACHMENT 4:	Representation Map		

**DETAILED DESCRIPTION OF PROPOSAL:**

The proposed development is to change the use of the building on the subject site to an indoor recreation facility, which is defined by the Planning & Design Code as “a building designed or adapted primarily for recreation or fitness pursuits”. No changes are proposed to the externality of the existing building or to the car parking areas in front of and behind the building. No signage is proposed either.

This facility intends to offer general fitness classes, pilates classes, yoga classes and open general gym use (during class times), with a maximum capacity of 22 participants plus 2 staff members. The proposed hours of operation range from 5:00am to 6:15pm on weekdays and include Saturday mornings, with no classes proposed on Sundays.

**SUBJECT LAND & LOCALITY:****Site Description:**

**Location reference:** 16 FULLARTON RD NORWOOD SA 5067

**Title ref.:** CT  
5093/368

**Plan Parcel:** F100211  
AL1

**Council:** THE CITY OF NORWOOD PAYNEHAM AND  
ST PETERS

Shape: regular

Frontage width: approx. 10m

Area: approx. 433m<sup>2</sup>

Topography: relatively flat

Existing Structures: a two-storey building and associated car parking

Existing Vegetation: nil

**Locality**

The locality selected for this assessment extends along Fullarton Road for approximately 100m in both directions and includes the first few properties on both Chapel Street (east) and King William Street (west), as well as the residential properties on Edmund Street (east) that share access over the rear lane with the subject site, as shown in **Attachment 2**.

The locality is predominantly characterised by a mix of single- and two-storey buildings of non-residential land uses fronting Fullarton Road, including offices, consulting rooms, a bulky goods outlet and a personal services establishment. The Chapel Street portion of this locality is characterised by two-storey non-residential buildings, whereas Edmund Street is located within an Historic Area Overlay, characterised by single-storey historic dwellings on smaller sites, and enjoys a decent level of amenity by virtue of consistent street tree plantings and the residential nature of the street (notwithstanding it backs on to properties that front a State-maintained road).

**CONSENT TYPE REQUIRED:**

Planning Consent

**CATEGORY OF DEVELOPMENT:**

- **PER ELEMENT:**  
Indoor recreation facility: Code Assessed - Performance Assessed
- **OVERALL APPLICATION CATEGORY:**  
Code Assessed - Performance Assessed

- **REASON**  
P&D Code

## PUBLIC NOTIFICATION

- **REASON**  
Indoor recreation facility is not exempt from public notification per Table 5 of the Zone unless the development site is not adjacent to a site used for residential purposes in a neighbourhood zone. The development site is adjacent a site used for residential purposes in a neighbourhood-type zone and therefore public notification is required.
- **LIST OF REPRESENTATIONS**

First Name	Surname	Address	Position	Wishes to be heard?
Lui	Schipani	18 Fullarton Road NORWOOD	Opposed	No
Helen	Parker	5 Edmund St NORWOOD	Opposed	Yes
Malcolm	Hockley	7 Edmund St NORWOOD	Opposed	No
Dimitrios	Mitris	PO Box 3121 UNLEY	Opposed	No
Sandra	Ross	9 Edmund St NORWOOD	Support, with concerns	Yes
Car	Francis	1/6 Chapel St NORWOOD	Support, with concerns	No
Dale	Smith	3/6 Chapel St NORWOOD	Opposed	No

- **SUMMARY**

The concerns raised by the representors can be summarised as follows:

- The lack of on-site car parking compared to the maximum number of participants in a class;
- A general lack of on-street car parking availability in the local area won't be able to support this business;
- Concerns that attendees to this gym will park on other sites because they won't get a park on the subject land or in nearby streets;
- There will be increased traffic volumes because of the crossover of fitness classes, with participants arriving early before classes and staying late after classes;
- The increased traffic will detriment the amenity of the area;
- The need for vehicles to reverse out onto Fullarton Road represents a hazard;
- The increased traffic conflict between other businesses and dwellings who share use of the rear lane, including concerns about vehicles blocking access to other sites;
- Concerns regarding the noise generated from the fitness centre, which will detriment the amenity of nearby residences;
- The potential for gym activities to occur outside of the building and in the rear lane, causing amenity issues for nearby dwellings and traffic safety concerns.

## AGENCY REFERRALS

- Commissioner of Highways

The Commissioner of Highways is supportive of the proposal, subject to several conditions.

## INTERNAL REFERRALS

- Rebecca Van Der Pennen, Traffic Engineer

Council's Traffic Engineer is not supportive of the proposal, citing the safety concerns with the non-conformant (albeit existing) car park and the need for vehicles to reverse out of the site into Fullarton Road.

## PLANNING ASSESSMENT

The application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in Appendix One.

### Land Use

Desired Outcome 1 of the Suburban Business Zone states:

*“A business and innovation precinct that includes a range of emerging businesses which have low level off-site impacts. Residential development within the area is subordinate to employment uses and generally includes medium-density housing designed to complement and not prejudice the operation of existing businesses.”*

Performance Outcome 1.1 of the Suburban Business Zone states:

*“Shops, office, consulting room, low-impact industry and other non-residential uses are supported by a variety of compact, medium density housing and accommodation types.”*

Performance Outcome 1.2 of the Suburban Business Zone states:

*“Retail, business and commercial development is of a scale that provides a local convenience service without undermining the vibrancy and function of zones primarily intended to accommodate such development.”*

Performance Outcome 1.1 of the Out of Activity Centre Development module of the general development policies states:

*“Non-residential development outside Activity Centres of a scale and type that does not diminish the role of Activity Centres:*

- (a) As primary locations for shopping, administrative, cultural, entertainment and community services*
- (b) As a focus for regular social and business gatherings*
- (c) In contributing to or maintain a pattern of development that supports equitable community access to services and facilities.”*

Performance Outcome 1.1 of the Out of Activity Centre Development module of the general development policies states:

*“Out-of-activity centre non-residential development complements Activity Centres through the provision of services and facilities:*

- (a) That support the needs of local residents and workers, particularly in underserved locations*
- (b) At the edge of Activity Centres where they cannot readily be accommodated within an existing Activity Centre to expand the range of services on offer and support the role of the Activity Centre.”*

DPF 1.1 of the Suburban Business Zone provides a non-exhaustive list of land uses that might generally be envisaged in this Zone. While an indoor recreation facility is not a land use listed in DPF 1.1, it is useful to take note of some of the land uses listed therein for contextual consideration of the land use herein proposed. To this end, DPF 1.1 includes light industry, motor repair station and warehouse as some of the land uses envisaged within this Zone. An indoor recreation facility can have considerably lower off-site impacts than a motor repair station or light industry might, and is therefore, in principle, considered to satisfy Performance Outcome 1.1 of the Zone.

An indoor recreation facility is a type of ‘emerging business’ that provides a service to local residents and workers. The scale of the fitness centre is confined to the existing building, which has a total floor area of

approximately 300m<sup>2</sup> (less than the 500m<sup>2</sup> guidance provided by DPF 1.2 of the Zone for offices and the like). Accordingly, the proposed land use is considered to accord with Performance Outcome 1.1 above.

Indoor recreation facilities are abundant in Metropolitan Adelaide and are not necessarily confined to any particular zone. In other words, there are not particular zones within the Planning & Design Code that more readily envisage indoor recreation facilities than other zones, with the exception perhaps of the Community Facilities Zone. As such, the addition of this land use in this locality is not considered to undermine the function or vibrancy of other zones or activity centres, consistent with the abovementioned Performance Outcomes from the Out of Activity Centre Development module.

## Noise Emissions / Amenity Impact

Whether or not this particular indoor recreation facility is appropriate for this site depends on consideration of the off-site impacts, consistent with Desired Outcome 1 and Performance Outcome 1.1 of the Zone, both of which state that non-residential uses should have low level off-site impacts.

Performance Outcome 1.2 of the Interface Between Land Uses module of the general development policies states:

*“Development adjacent to a site containing a sensitive receiver (or lawfully approved sensitive receiver) or zone primarily intended to accommodate sensitive receivers is designed to minimise adverse impacts.”*

Performance Outcome 4.1 of the Interface Between Land Uses module of the general development policies states:

*“Development that emits noise (other than music) does not unreasonable impact the amenity of sensitive receivers (or lawfully approved sensitive receivers).”*

The corresponding Designated Performance Feature suggests that achieving compliance with the relevant *Environment Protection (Commercial and Industrial Noise) Policy* criteria will satisfy this Performance Outcome. Council administration agrees with this view.

Performance Outcome 4.6 of the Interface Between Land Uses module of the general development policies states:

*“Development incorporating music achieves suitable acoustic amenity when measured at the boundary or an adjacent sensitive receiver (or lawfully approved sensitive receiver) or zone primarily intended to accommodate sensitive receivers.”*

The corresponding Designated Performance Feature suggests that this Performance Outcome may be satisfied if any amplified music achieves a noise level no more than 8 decibels above the level of background noise measured at the nearest sensitive receiver (with specific acoustic engineering criteria applied thereto).

The Applicant has supplemented their application with an Acoustic Report, prepared by National, Noise and Vibration (an acoustic engineering firm based in New South Wales) – see **Attachment 1**.

The Acoustic Report provides details of the acoustic modelling undertaken to determine whether the proposed indoor recreation facility will achieve the relevant Environment Protection Policy criteria, to therefore satisfy the abovementioned Performance Outcomes. This modelling assumed the following parameters:

- That all doors, windows and roller doors to the premises are closed;
- That the facility is operating at full capacity (24 people) with half emitting noise through raised voices;
- That two AC units are operating continuously;
- That 4 rowing machines, 4 bicycles, 4 ski machines and 4 treadmills are being used simultaneously;
- That amplified music is playing continuously;
- That 7 vehicles enter and exit the site within the 15-minute assessment period, each idling for a few seconds;

- That, simultaneously, an 80kg barbell is dropped from knee height onto the floor, a barbell is dropped onto a squat rack, a 25kg dumbbell is dropped onto the floor and 25kg kettlebell is dropped onto the floor.

The modelling was based on a worst-case scenario with the facility operating at full capacity, half of the occupants raising their voices and four participants dropping heavy weights at the exact same time. In so doing, the modelling concluded that the operation of the proposed indoor recreation facility will achieve all relevant day time and nighttime noise criteria (as prescribed by the *Environment Protection Policy*) for the two closest sensitive receivers at 16 Chapel Street and 5 Edmund Street. Consequently, the proposed land use is considered to satisfy Performance Outcomes 4.1 and 4.6 of the Interface Between Land Uses module (above).

To ensure continued compliance with the relevant noise criteria is achieved, Condition No 4 reinforces the need to keep all building openings closed during the operation of the facility.

Performance Outcome 2.1 of the Interface Between Land Uses module of the general development policies states:

*“Non-residential development does not unreasonable impact the amenity of sensitive receivers (or lawfully approved sensitive receivers) or an adjacent zone primarily for sensitive receivers through its hours of operation having regard to:*

- (a) The nature of the development*
- (b) Measures to mitigate off-site impacts*
- (c) The extent to which the development is desired in the zone...”*

In the context of the acoustic modelling undertaken, the proposed hours of operation are considered reasonable and reflect the typical hours of operation for such facilities. These hours are reflected in Condition No 3, which provides further scope for operations on Saturdays, with the applicant at liberty to apply to vary those hours.

## **Traffic Impact, Access and Parking**

Performance Outcome 1.1 of the Urban Transport Routes Overlay states:

*“Access is designed to allow safe entry and exit to and from a site to meet the needs of development and minimise traffic flow interference associated with access movements along adjacent State maintained roads.”*

Performance Outcome 1.4 of the Transport, Access and Parking module of the general development policies states:

*“Development is sited and designed so that loading, unloading and turning of all traffic avoids interrupting the operation of and queuing on public roads and pedestrian paths.”*

The application does not seek to alter the existing access arrangements for the site, or the car parking spaces within the site. Vehicle access is available via the existing Fullarton Road crossover or via the rear lane. The rear lane is a private road under private ownership, over which the subject land and other sites have rights of way.

Several representors raised concerns about the use of the lane for this development, suggesting that the increased traffic volumes through the lane would be a detriment to the residential amenity of the dwellings behind. It is prudent to note, firstly, that there are only three (3) car parking spaces at the rear of the subject building that can be accessed by this lane. Secondly, this site is one of more than a dozen sites that use this lane for access. Accordingly, the volume of traffic in the lane that is expected to be generated by this land use is not considered to be such that would cause a detrimental impact to the adjacent sensitive receivers.

Council's Traffic Engineer has concerns with the safety of movements associated with the Fullarton Road car park because it requires vehicles to reverse out of the site into traffic on Fullarton Road. However, these undesirable movements are not caused by this development – these conditions already exist (albeit it might

be that this development will experience an increase in such movements compared to the previous use, but that is unknown).

The Applicant's traffic engineer suggests that two (2) of the four (4) spaces in front of the building will be allocated for staff who will arrive and leave the premises outside of Fullarton Road's peak traffic times, thereby minimising the potential for conflict during egress movements. The other two (2) spaces would be available for clients and are anticipated to generate four (4) peak hour movements according to the Applicant's traffic engineer, which is akin to the traffic generation associated with the site's existing office use. Because the development involves a change of use of an existing building, with no building work or changes to parking proposed, the applicant cannot be expected to make good an existing undesirable situation where that undesirable situation is not expected to be aggravated by the proposal.<sup>1</sup> As such, and despite the valid concerns of Council's traffic engineer, the proposal is considered to accord with the abovementioned Performance Outcomes. This is reinforced by the Commissioner of Highways' support for the proposal.

Performance Outcome 5.1 of the Transport, Access and Parking module of the general development policies states:

*"Sufficient on-site vehicle parking and specifically marked accessible car parking places are provided to meet the needs of the development or land use having regard to [several] factors that may support a reduced on-site rate..."*

The corresponding Designated Performance Feature suggests that satisfaction of the rates in Table 1 or Table 2 of the module (as applicable) will generally satisfy this Performance Outcome. This is the generally adopted approach in planning assessments, unless special circumstances apply. No such circumstances are considered to apply in this instance. The subject land is located within a designated area for the purposes of car parking and accordingly Table 2 of this module prescribes the applicable car parking rate.

To this end, Table 2 prescribes a rate of 3 spaces per 100m<sup>2</sup> of gross leasable floor area for all non-residential development except tourist accommodation. It is well-established in planning law that any existing car parking shortfall can be carried over to any new land use where the total floor area to be used is not being altered. This principle is directly applicable to this application because the total floor area of the subject building is not changing because of the development. Accordingly, because the same car parking rate is prescribed to the existing office use as it is to the proposed indoor recreation facility use, the existing shortfall on site is the same shortfall that would exist in respect of the proposed use, and therefore the existing number of on-site car parks are considered sufficient for the proposed use. Thus, Performance Outcome 5.1 (above) is satisfied. Notwithstanding this, the proposed use has a gross leasable floor area of approximately 300m<sup>2</sup>, which would require nine (9) spaces per Table 2 of this module. Accordingly, the existing shortfall is only 2 spaces when assessed against the P&D Code.

Both the Applicant's and Council's traffic engineers recognise that the land use is likely to generate a demand for up to 22 vehicles, all of which cannot be accommodated on site and will therefore need to utilise the on-street network or rely on visitors finding alternative transport methods. However, this is simply a consequence of the site being located in a designated area and it would be inconsistent with existing case law to not support the application on this basis.

Performance Outcome 9.1 of the Transport, Access and Parking module of the general development policies states:

*"The provision of adequately sized on-site bicycle parking facilities encourage cycling as an active transport mode."*

The corresponding Designated Performance Feature suggests that the provision of bicycle parking spaces commensurate with the rates specified in Table 3 of the module is sufficient to satisfy this Performance Outcome. In this respect, Table 3 suggests that the development should provide two (2) bicycle parking spaces based on the number of staff and floor area of the building.

No bicycle parking areas have been provided for this development. Nonetheless, there is room available either next to the pedestrian door at the front of the building, or within the building, for two (2) bicycle parking spaces.

<sup>1</sup> *Wong v Metcash Trading Australasia Ltd* [2003] SASC 314; *City of Woodville v Horbelt* (1980) 42 LGRA 286.

Accordingly, a Reserved Matter has been recommended, requiring the Applicant to provide for two (2) bicycle parking spaces on the site.

## Question of Seriously at Variance

Having considered the proposal against the relevant provisions of the Planning & Design Code (version 2024.15, 15/08/2024), the proposal is not considered to be seriously at variance with the provisions of the Planning & Design Code for the following reasons:

- The land use proposed is not at odds with the types of land uses envisaged within the Suburban Business Zone;
- The acoustic modelling provided demonstrates compliance with relevant industry standards;
- The site is in a designated area for car parking; and
- The traffic concerns associated with the use are pre-existing and cannot expect to be remedied by the subject proposal.

## CONCLUSION

Indoor recreation facilities are an anticipated land use in the Suburban Business Zone providing they are of a scale appropriate for the locality and do not result in adverse impacts to any adjacent sensitive receivers. The acoustic assessment provided with the application demonstrates that the land use achieves the relevant *Environment Protection Policy* noise criteria providing the external openings of the building remain closed during operation. Conditions 4 and 5 recommended below ensure ongoing compliance with this, to protect the amenity of the adjacent sensitive receivers.

The subject land is located within a designated area for the purposes of car parking and consequently the development is not expected to provide any more on-site car parking spaces than what already exists. This will result in a reliance on on-street parking in the locality, or alternative transport methods, but this is a consequence that cannot be avoided in designated areas and is not considered to be a reason for non-support of the proposal. The Fullarton Road car park is an existing, non-compliant car park whose operation will result in vehicles needing to reverse onto Fullarton Road. However, the Applicant cannot be expected to remedy this existing deficiency, and this is recognised by the Commissioner of Highways in their support for the proposal.

Similarly, the site has a right to use the rear lane for access purposes and so while the representors have a right to not support the likely increase in vehicle movements along this lane, the increased movements are not considered to be such that any impact caused to these residences justifies the refusal of the application. Conversely, the impacts are considered to be acceptable.

## RECOMMENDATION

It is recommended that the Council Assessment Panel resolve that:

1. The proposed development is not considered seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*.
2. Development Application Number 24026013, by Stevie-Ann Spencer is granted Planning Consent subject to the following conditions:

## RESERVED MATTER

### Planning Consent

An amended site plan (or floor plan) shall be provided to the reasonable satisfaction of the Assessment Manager that includes at least two (2) bicycle parking spaces on the site (or within the building in a convenient location).

NOTE: Further conditions may be imposed on the Planning Consent in respect of the above matters.

Pursuant to Section 127(1) of the *Planning, Development and Infrastructure Act 2016*, the power to impose further conditions of consent in respect of the reserved matter(s) above is delegated to the Assessment Manager.

## CONDITIONS

### **Planning Consent**

#### Condition 1

The development granted Planning Consent shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any).

#### Condition 2

All car parking spaces shall be line marked or delineated in a distinctive fashion, with the marking maintained in a clear and visible condition at all times.

#### Condition 3

The hours of operation of the premises shall be restricted to following times:

- Monday to Friday (excluding public holidays), 5:00am to 7:00pm
- Saturday, 7:00am to 5:00pm

#### Condition 4

All external openings to the building (including but not limited to roller doors, pedestrian doors and windows) shall remain closed while the facility is being used.

#### Condition 5

All classes and fitness-related activities shall be undertaken wholly within the building.

#### Condition 6

Driveways, car parking spaces, manoeuvring areas and landscaping areas shall not be used for the storage or display of any goods, materials or waste at any time.

### ***Conditions imposed by Commissioner of Highways under Section 122 of the Act***

#### Condition 7

All access to/from the development shall be gained in accordance with the Dimensioned Site Plan produced by CIRQA, Project No: 24399, Sheet No. 02\_SH01, Version A, dated 11/09/2024.

#### Condition 8

All on-site vehicle manoeuvring areas shall remain clear of any impediments.

#### Condition 9

Clear sightlines, as shown in Figure 3.3 'Minimum Sight Lines for Pedestrian Safety' in *AS/NZS 2890.1:2004*, shall be provided at the property line to ensure adequate visibility between vehicles leaving the site and pedestrians on the adjacent footpath.

#### Condition 10

Stormwater run-off shall be collected on-site and discharged without impacting the safety and integrity of the adjacent road network. Any alterations to the road drainage infrastructure required to facilitate this shall be at the applicant's cost.

## ADVISORY NOTES

### **Planning Consent**

#### Advisory Note 1

The Applicant is reminded of its responsibilities under the *Environment Protection Act 1993*, to not harm the environment. Specifically, paint, plaster, concrete, brick wastes and wash waters should not be discharged

into the stormwater system, litter should be appropriately stored on site pending removal, excavation and site disturbance should be limited, entry/exit points to the site should be managed to prevent soil being carried off site by vehicles, sediment barriers should be used (particularly on sloping sites), and material stockpiles should all be placed on site and not on the footpath or public roads or reserves. Further information is available by contacting the EPA.

#### Advisory Note 2

The granting of this consent does not remove the need for the beneficiary to obtain all other consents which may be required by any other legislation.

The Applicant's attention is particularly drawn to the requirements of the *Fences Act 1975* regarding notification of any neighbours affected by new boundary development or boundary fencing. Further information is available in the 'Fences and the Law' booklet available through the Legal Services Commission.

#### Advisory Note 3

The Applicant is advised that construction noise is not allowed:

1. on any Sunday or public holiday; or
2. after 7pm or before 7am on any other day

#### Advisory Note 4

The Applicant is advised that any works undertaken on Council owned land (including but not limited to works relating to crossovers, driveways, footpaths, street trees and stormwater connections), or works that require the closure of the footpath and / or road to undertake works on the development site, will require the approval of the Council pursuant to the *Local Government Act 1999* prior to any works being undertaken. Further information may be obtained by contacting Council's Public Realm Compliance Officer on 8366 4513.

#### Advisory Note 5

The Applicant is advised that the condition of the footpath, kerbing, vehicular crossing point, street tree(s) and any other Council infrastructure located adjacent to the subject land will be inspected by the Council prior to the commencement of building work and at the completion of building work. Any damage to Council infrastructure that occurs during construction must be rectified as soon as practicable and in any event, no later than four (4) weeks after substantial completion of the building work. The Council reserves its right to recover all costs associated with remedying any damage that has not been repaired in a timely manner from the appropriate person.

#### Advisory Note 6

The Council has not surveyed the subject land and has, for the purpose of its assessment, assumed that all dimensions and other details provided by the Applicant are correct and accurate.

#### Advisory Note 7

Appeal Rights - General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.

#### Advisory Note 8

Consents issued for this Development Application will remain valid for the following periods of time:

1. Planning Consent is valid for 24 months following the date of issue, within which time Development Approval must be obtained;
2. Development Approval is valid for 24 months following the date of issue, within which time works must have substantially commenced on site;
3. Works must be substantially completed within 3 years of the date on which Development Approval is issued.

If an extension is required to any of the above-mentioned timeframes a request can be made for an extension of time by emailing the Planning Department at [townhall@npsp.sa.gov.au](mailto:townhall@npsp.sa.gov.au). Whether or not an extension of time will be granted will be at the discretion of the relevant authority.

## Advisory Note 9

No work can commence on this development unless a Development Approval has been obtained. If one or more Consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.

---

*Ms Spencer answered questions from the Council Assessment Panel from 7:03 pm until 7:06pm*

### **Moved by Mr Adcock**

- 1. The proposed development is not considered seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code pursuant to section 107(2)(c) of the Planning, Development and Infrastructure Act 2016.*
- 2. Development Application Number 24026013, by Stevie-Ann Spencer is granted Planning Consent subject to the following conditions:*

### **RESERVED MATTER**

#### **Planning Consent**

*An amended site plan (or floor plan) shall be provided to the reasonable satisfaction of the Assessment Manager that includes at least two (2) bicycle parking spaces on the site (or within the building in a convenient location).*

*NOTE: Further conditions may be imposed on the Planning Consent in respect of the above matters.*

*Pursuant to Section 127(1) of the Planning, Development and Infrastructure Act 2016, the power to impose further conditions of consent in respect of the reserved matter(s) above is delegated to the Assessment Manager.*

### **CONDITIONS**

#### **Planning Consent**

##### **Condition 1**

*The development granted Planning Consent shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any).*

##### **Condition 2**

*All car parking spaces shall be line marked or delineated in a distinctive fashion, with the marking maintained in a clear and visible condition at all times.*

##### **Condition 3**

*The hours of operation of the premises shall be restricted to following times:*

- Monday to Friday (excluding public holidays), 5:00am to 7:00pm*
- Saturday, 7:00am to 5:00pm*

##### **Condition 4**

*All external openings to the building (including but not limited to roller doors, pedestrian doors and windows) shall remain closed while the facility is being used.*

## Condition 5

*All classes and fitness-related activities shall be undertaken wholly within the building.*

## Condition 6

*Driveways, car parking spaces, manoeuvring areas and landscaping areas shall not be used for the storage or display of any goods, materials or waste at any time.*

## **Conditions imposed by Commissioner of Highways under Section 122 of the Act**

## Condition 7

*All access to/from the development shall be gained in accordance with the Dimensioned Site Plan produced by CIRQA, Project No: 24399, Sheet No. 02\_SH01, Version A, dated 11/09/2024.*

## Condition 8

*All on-site vehicle manoeuvring areas shall remain clear of any impediments.*

## Condition 9

*Clear sightlines, as shown in Figure 3.3 'Minimum Sight Lines for Pedestrian Safety' in AS/NZS 2890.1:2004, shall be provided at the property line to ensure adequate visibility between vehicles leaving the site and pedestrians on the adjacent footpath.*

## Condition 10

*Stormwater run-off shall be collected on-site and discharged without impacting the safety and integrity of the adjacent road network. Any alterations to the road drainage infrastructure required to facilitate this shall be at the applicant's cost.*

## ADVISORY NOTES

### **Planning Consent**

#### Advisory Note 1

*The Applicant is reminded of its responsibilities under the Environment Protection Act 1993, to not harm the environment. Specifically, paint, plaster, concrete, brick wastes and wash waters should not be discharged into the stormwater system, litter should be appropriately stored on site pending removal, excavation and site disturbance should be limited, entry/exit points to the site should be managed to prevent soil being carried off site by vehicles, sediment barriers should be used (particularly on sloping sites), and material stockpiles should all be placed on site and not on the footpath or public roads or reserves. Further information is available by contacting the EPA.*

#### Advisory Note 2

*The granting of this consent does not remove the need for the beneficiary to obtain all other consents which may be required by any other legislation.*

*The Applicant's attention is particularly drawn to the requirements of the Fences Act 1975 regarding notification of any neighbours affected by new boundary development or boundary fencing. Further information is available in the 'Fences and the Law' booklet available through the Legal Services Commission.*

#### Advisory Note 3

*The Applicant is advised that construction noise is not allowed:*

- 1. on any Sunday or public holiday; or*
- 2. after 7pm or before 7am on any other day*

#### Advisory Note 4

*The Applicant is advised that any works undertaken on Council owned land (including but not limited to works relating to crossovers, driveways, footpaths, street trees and stormwater connections), or works that require the closure of the footpath and / or road to undertake works on the development site, will require the approval of the Council pursuant to the Local Government Act 1999 prior to any works being undertaken. Further information may be obtained by contacting Council's Public Realm Compliance Officer on 8366 4513.*

## *Advisory Note 5*

*The Applicant is advised that the condition of the footpath, kerbing, vehicular crossing point, street tree(s) and any other Council infrastructure located adjacent to the subject land will be inspected by the Council prior to the commencement of building work and at the completion of building work. Any damage to Council infrastructure that occurs during construction must be rectified as soon as practicable and in any event, no later than four (4) weeks after substantial completion of the building work. The Council reserves its right to recover all costs associated with remedying any damage that has not been repaired in a timely manner from the appropriate person.*

## *Advisory Note 6*

*The Council has not surveyed the subject land and has, for the purpose of its assessment, assumed that all dimensions and other details provided by the Applicant are correct and accurate.*

## *Advisory Note 7*

*Appeal Rights - General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.*

## *Advisory Note 8*

*Consents issued for this Development Application will remain valid for the following periods of time:*

- 1. Planning Consent is valid for 24 months following the date of issue, within which time Development Approval must be obtained;*
- 2. Development Approval is valid for 24 months following the date of issue, within which time works must have substantially commenced on site;*
- 3. Works must be substantially completed within 3 years of the date on which Development Approval is issued.*

*If an extension is required to any of the above-mentioned timeframes a request can be made for an extension of time by emailing the Planning Department at [townhall@npsp.sa.gov.au](mailto:townhall@npsp.sa.gov.au). Whether or not an extension of time will be granted will be at the discretion of the relevant authority.*

## *Advisory Note 9*

*No work can commence on this development unless a Development Approval has been obtained. If one or more Consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.*

**Seconded by Mr Rutt  
CARRIED**

## DECISION NOTIFICATION FORM

*Section 126(1) of the Planning, Development and Infrastructure Act 2016*

### TO THE APPLICANT(S):

Name: Stevie-Ann Spencer
Postal address: 26 MURRAY STREET NORTH ADELAIDE SA 5006
Email: stevieannspencer@gmail.com

### IN REGARD TO:

Development application no.: 24026013	Lodged on: 27 Aug 2024
Nature of proposed development: Change of use to an indoor recreation centre (fitness centre)	

### Stages

Number	Stage Description
1 of 2	Change of Building Classification Class 5 to Class 9b Fitness Centre

### LOCATION OF PROPOSED DEVELOPMENT:

Location reference: 16 FULLARTON RD NORWOOD SA 5067		
Title ref.: CT 5093/368	Plan Parcel: F100211 AL1	Council: THE CITY OF NORWOOD PAYNEHAM AND ST PETERS

### DECISION:

Decision type	Decision (granted/refused)	Decision date	No. of conditions	No. of reserved matters	Entity responsible for decision (relevant authority)
Planning Consent	Granted	19 Dec 2024	10	0	Assessment Panel at City of Norwood, Payneham and St. Peters
Building Consent Stage 1	Granted	26 Jan 2025	5	0	Michael Essex - 3ME Analytic - Building Level 2
Staged Development Approval - Planning Consent; Building Consent Stage 1	Still Required				City of Norwood, Payneham and St. Peters
Building Consent Stage 2	Still Required				Michael Essex - 3ME Analytic - Building Level 2
Development Approval - Building Consent Stage 2	Still Required				City of Norwood, Payneham and St. Peters

**FROM THE RELEVANT AUTHORITY:** Assessment Panel - Section 93 at City of Norwood, Payneham and St. Peters

Date: 5 Feb 2025

## CONDITIONS

### Planning Consent

#### Condition 1

The development granted Planning Consent shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any).

#### Condition 2

All car parking spaces shall be line marked or delineated in a distinctive fashion, with the marking maintained in a clear and visible condition at all times.

#### Condition 3

The hours of operation of the premises shall be restricted to following times:

- Monday to Friday (excluding public holidays), 5:00am to 7:00pm
- Saturday, 7:00am to 5:00pm

#### Condition 4

All external openings to the building (including but not limited to roller doors, pedestrian doors and windows) shall remain closed while the facility is being used.

#### Condition 5

All classes and fitness-related activities shall be undertaken wholly within the building.

#### Condition 6

Driveways, car parking spaces, manoeuvring areas and landscaping areas shall not be used for the storage or display of any goods, materials or waste at any time.

### Conditions imposed by Commissioner of Highways under Section 122 of the Act

#### Condition 7

All access to/from the development shall be gained in accordance with the Dimensioned Site Plan produced by CIRQA, Project No: 24399, Sheet No. 02\_SH01, Version A, dated 11/09/2024.

#### Condition 8

All on-site vehicle manoeuvring areas shall remain clear of any impediments.

#### Condition 9

Clear sightlines, as shown in Figure 3.3 'Minimum Sight Lines for Pedestrian Safety' in *AS/NZS 2890.1:2004*, shall be provided at the property line to ensure adequate visibility between vehicles leaving the site and pedestrians on the adjacent footpath.

#### Condition 10

Stormwater run-off shall be collected on-site and discharged without impacting the safety and integrity of the adjacent road network. Any alterations to the road drainage infrastructure required to facilitate this shall be at the applicant's cost.

### Building Consent Stage 1

#### Condition 1

Roof Water from the structure must be discharged and managed in a manner that does not result in ponding or adverse effect to surrounding buildings or adjoining properties.

## Condition 2

Access to and within the building and sanitary provisions, including proposed shower provisions must be provided in accordance with AS1428:2021

## Condition 3

All building work must be undertaken in accordance with the technical details, particulars, plans, drawings and specifications as approved by Council.

## Condition 4

### Portable Fire Extinguishers

An AB(E) fire extinguisher is to be installed within the building within 3 metres from an exit door.

## Condition 5

The required exit doors must be provided and must be readily openable without a key from the side that faces a person seeking egress, by a single hand downward action on a single device located between 900mm and 1.1m from the floor.

## ADVISORY NOTES

### Planning Consent

#### Advisory Note 1

Appeal Rights - General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.

#### Advisory Note 2

Consents issued for this Development Application will remain valid for the following periods of time:

1. Planning Consent is valid for 24 months following the date of issue, within which time Development Approval must be obtained;
2. Development Approval is valid for 24 months following the date of issue, within which time works must have substantially commenced on site;
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#### Advisory Note 3

No work can commence on this development unless a Development Approval has been obtained. If one or more Consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.

#### Advisory Note 4

The Applicant is reminded of its responsibilities under the *Environment Protection Act 1993*, to not harm the environment. Specifically, paint, plaster, concrete, brick wastes and wash waters should not be discharged into the stormwater system, litter should be appropriately stored on site pending removal, excavation and site disturbance should be limited, entry/exit points to the site should be managed to prevent soil being carried off site by vehicles, sediment barriers should be used (particularly on sloping sites), and material stockpiles should all be placed on site and not on the footpath or public roads or reserves. Further information is available by contacting the EPA.

## **Advisory Note 5**

The granting of this consent does not remove the need for the beneficiary to obtain all other consents which may be required by any other legislation.

The Applicant's attention is particularly drawn to the requirements of the *Fences Act 1975* regarding notification of any neighbours affected by new boundary development or boundary fencing. Further information is available in the 'Fences and the Law' booklet available through the Legal Services Commission.

## **Advisory Note 6**

The Applicant is advised that construction noise is not allowed:

1. on any Sunday or public holiday; or
2. after 7pm or before 7am on any other day

## **Advisory Note 7**

The Applicant is advised that any works undertaken on Council owned land (including but not limited to works relating to crossovers, driveways, footpaths, street trees and stormwater connections), or works that require the closure of the footpath and / or road to undertake works on the development site, will require the approval of the Council pursuant to the *Local Government Act 1999* prior to any works being undertaken. Further information may be obtained by contacting Council's Public Realm Compliance Officer on 8366 4513.

## **Advisory Note 8**

The Applicant is advised that the condition of the footpath, kerbing, vehicular crossing point, street tree(s) and any other Council infrastructure located adjacent to the subject land will be inspected by the Council prior to the commencement of building work and at the completion of building work. Any damage to Council infrastructure that occurs during construction must be rectified as soon as practicable and in any event, no later than four (4) weeks after substantial completion of the building work. The Council reserves its right to recover all costs associated with remedying any damage that has not been repaired in a timely manner from the appropriate person.

## **Advisory Note 9**

The Council has not surveyed the subject land and has, for the purpose of its assessment, assumed that all dimensions and other details provided by the Applicant are correct and accurate.

## **Building Consent Stage 1**

### **Advisory Note 1**

#### **Certificate of Occupancy**

In accordance with Section 152(1) & Regulation 103, no person is allowed to occupy any portion of the building until a Certificate of Occupancy has been issued. Before a certificate can be issued, the following documents are required to be submitted to Council:

- (a) A copy of a Statement of Compliance duly completed in accordance with the requirements of regulations 104
- (b) A certificate of compliance must be provided for each essential safety provision (Form 2), signed by the installer of the safety provision, or where the installer is a company, signed by the manager responsible for the installation work) including a plan of the building with each essential safety provision marked on it.
- (c) If development approved subject to conditions evidence that conditions have been satisfied.

## **Advisory Note 2**

### **Statement of Compliance**

In accordance with Regulation 57(8) a Statement of Compliance is required for this development. The Statement of Compliance must be completed and returned to the relevant authority for Building Rules Consent. A blank copy of a Statement of Compliance is available on the SA planning portal. Part A of the Statement of Compliance is required to be completed by the licensed building work contractor responsible for carrying out the relevant building work or if there is no such person, by a registered building supervisor or private certifier. The owner must complete part B of the Statement of Compliance. The Statement of Compliance must be provided at the time of notification of completion of the dwelling (or part, or addition). .

Note: A person must not occupy a Class 1 – 9 building unless an appropriate certificate of occupancy has been issued for the building (or the building is of a type excluded by the regulations from the requirements as to certificates of occupancy)

#### Advisory Note 3

The proposed addition to existing building is reliant on the provision and maintenance of approved Essential Safety Provisions provided throughout the existing building as specified with the attached form 1 schedule of Essential Safety provisions. Such provisions include, compliant required exits, operation of latches, identification of exits, portable fire extinguishers and emergency evacuation lighting.

#### Advisory Note 4

Council may have a requirement to be notified at other stages of construction. It is strongly recommended you read all approval documentation to ensure you do not commit an offence under the Planning Development and Infrastructure Act 2016, by failing to give notification when required.

### CONTACT DETAILS OF CONSENT AUTHORITIES

Name: 3ME Analytic	Type of consent: Building
Telephone: 0481 864 686	Email: info@3meanalytic.com.au
Postal address: 7b Silver Crescent, Grange SA 5022	

Name: City of Norwood, Payneham and St. Peters	Type of consent: Planning
Telephone: 0883664530	Email: developmentassessment@npsp.sa.gov.au
Postal address: PO Box 204, Kent Town SA 5071	

### BUILDING CLASSIFICATION/S

#### Building Consent Stage 1

Essential safety provisions apply: Yes

#### Building work Change of Building Classification Class 5 to Class 9b Fitness Centre

Building Classification	Approved number of occupants
9B - Assembly building	25

### REQUIRED NOTIFICATIONS

You are advised that notice and/or documentation must be provided to council when the following stages of building work are reached (regulation 93):

#### Building Consent Stage 1

#### Building work Change of Building Classification Class 5 to Class 9b Fitness Centre

- Commencement of Building work (1 business day's notice)
- Completion of Building work (1 business day's notice)

*Note regulation 57(7) allows the relevant authority issuing the notice to specify any additional stage of building work for which notice must be given to the council under regulation 93.*

*Where a building certifier is issuing the building consent the use of this regulation is to inform the council of stages of work when a notification should be provided and an inspection may occur at the council's discretion. If*

*applicable, notifications specified under 57(7) are therefore intended to be in addition to mandatory notifications and any notifications specified by council under 93(1)(b) or (c) when issuing the final Development Approval.*

*To submit the requested notifications, log in to the SA planning portal and select **Submit mandatory building notifications**.*

## STATEMENT OF COMPLIANCE

A Statement of Compliance is required at the completion of all building work, except in respect of a Class 10 building other than a swimming pool or private bushfire shelter.

### Building Consent Stage 1

#### Building Work Change of Building Classification Class 5 to Class 9b Fitness Centre

The following certificates, reports or other documents must be provided to the building certifier or council (as relevant) with the completed Statement of Compliance under regulation 57(8)(c).

(None specified)

*A blank copy of the Statement of Compliance is available on the SA planning portal. The Statement of Compliance and other required documents may be uploaded to the SA planning portal on completion.*

## BUILDING OCCUPATION/COMPLETION

### Building Consent Stage 1

#### Building work Change of Building Classification Class 5 to Class 9b Fitness Centre

##### Building classification 9B - Assembly building

A Certificate of Occupancy issued under section 152 is required for this building before it can be occupied: Yes

The Certificate of Occupancy will be issued by: The building certifier

*Note section 152 of the Act and regulation 103, requires a Certificate of Occupancy to be issued before a building can be occupied. A Certificate of Occupancy is not required for a Class 10 building or for a Class 1a building where the application for building consent is lodged and verified within the SA planning portal before 1 October 2024. In the meantime, a person must not occupy a Class 1a building for which a Certificate of Occupancy is not required unless it meets the minimum standards for occupancy under regulation 103H(2).*

*Completion of a building will be signalled by the receipt of the Statement of Compliance required for that building, or the final Statement of Compliance where multiple statements are required.*

*Section 152(2) of the Act states that 'A certificate of occupancy will be issued by council', noting that section 154 allows a building certifier to exercise this power should they elect to, where either: the building is owned occupied by the Crown or an agency or instrumentality of the Crown; or if they issued the building rules consent for that building.*

*The authority above – either building certifier or council – will therefore be responsible for issuing this Certificate following receipt of the Statement of Compliance and other documentation as required to provide assurance that the building is suitable for occupation.*

*Note the default authority for issuing this Certificate remains the council, should there be no building certifier or if the certifier elects not to issue this Certificate, noting that a council may still elect not to issue a certificate, if the council is not satisfied the building is suitable for occupation under section 152(6) of the Act.*

### Contact details for the purposes of this notification

Name City of Norwood, Payneham and St. Peters

Email developmentassessment@npsp.sa.gov.au

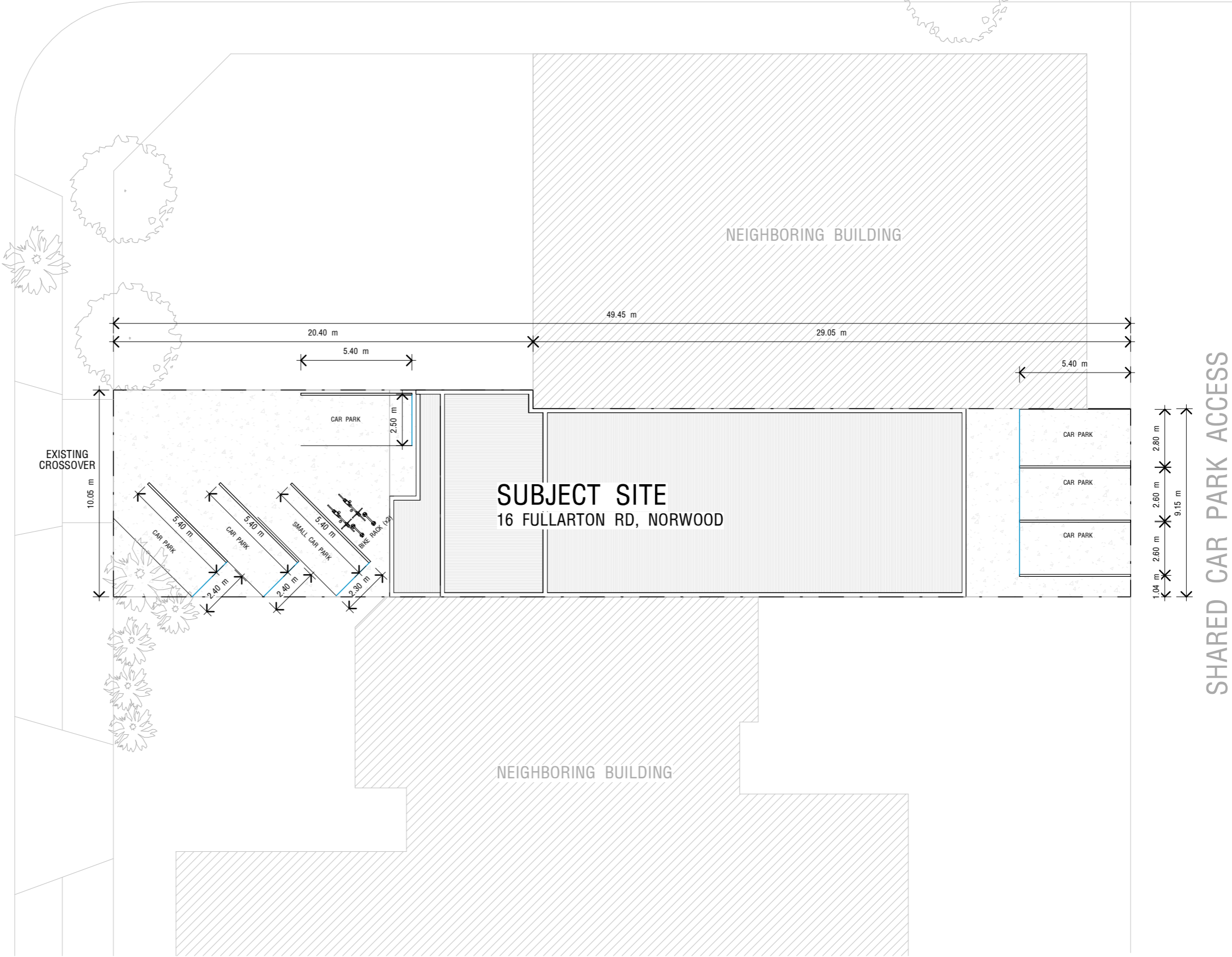
Phone 0883664530

*Notifications may also be provided via the SA planning portal.*

CHAPEL ST

Attachment 6

FULLARTON RD



MOLD DESIGN STUDIO

81 Dew Street  
Thebarton, SA 5031

P: (08)8340-9221  
M: 0414-821-995  
E: info@moldstudio.com  
REGISTRATION NO: SA3935

'YARD NATION'

16 FULLARTON RD, NORWOOD SA 5067

THIS SHEET SCALED FOR A3 PRINT

BUILDER TO VERIFY ALL DIMENSIONS. SITE MEASURE TO TAKE PRECEDENCE OVER DIMENSIONS ON DRAWINGS.

DRAWING ISSUE / REVISION LOG

PLANNING APPROVAL SET  
BUILDING PERMIT SET  
REVISION NUMBER / DATE  
CONTRACTING SET  
REVISION NUMBER / DATE

SITE PLAN

CHECKED BY: CW

DRAWN BY: BM

SCALE: 1 : 200

DATE: 30/01/25

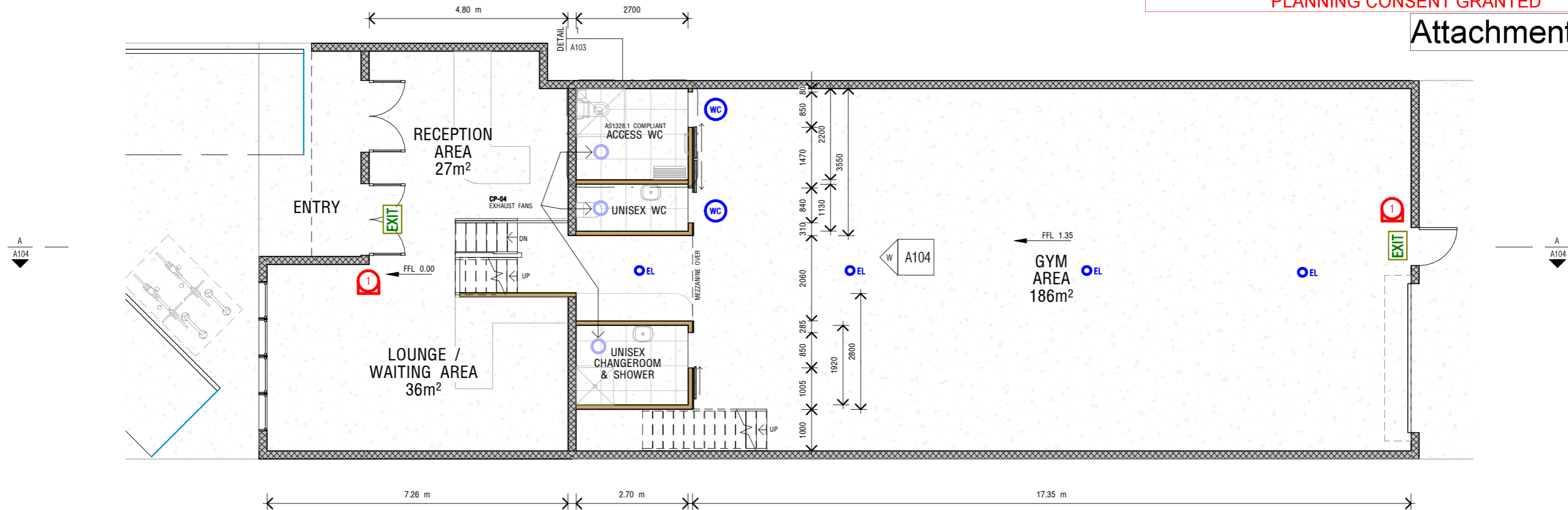
NORTHPOINT

DRAWING NO

A100

mold

Attachment 6



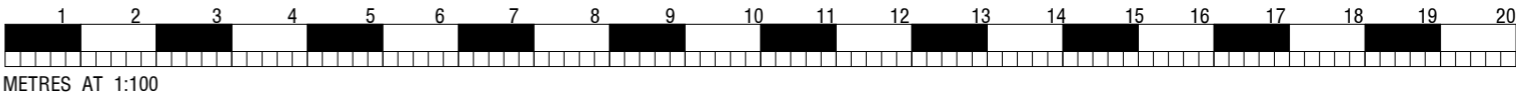
COMPLIANCE FEATURES LEGEND

- >---> EXIT PATH FROM BUILDING
- EXIT** DESIGNATED REQUIRED EXIT & SIGNAGE
- ENTRY** DESIGNATED ACCESSIBLE ENTRANCE & SIGNAGE
- WC** TOILET SIGNAGE (UNISEX AMBULANT / UNISEX ACCESS AS REQ'D)
- E** ENTRY DIRECTIONAL SIGNAGE 'ACCESSIBLE ENTRY -->'
- EL** EMERGENCY LIGHTING

FIRE EXTINGUISHERS

NO.	DESCRIPTION	USE FOR	DO NOT USE FOR
1	DRY POWDER (ABE) 9kg	WOOD, PAPER, TEXTILES ETC. FLAMMABLE LIQUIDS, GASEOUS FIRES, LIVE ELECTRICAL EQUIPMENT	

- CP01 - EXIT SIGNS / REQUIRED EXITS**  
EXIT SIGNS CLEARLY VISIBLE AT ALL TIMES WHEN THE BUILDING IS OCCUPIED IN ACCORDANCE WITH AS1428.1. EXIT SIGNS TO AS/NZS 2293:1
- THE ANNOTATION 'EXIT' ON THE PLAN INDICATES THE LOCATION OF THE 'REQUIRED EXITS' FOR THE NEW PORTION OF THE CIDER, BACK OF HOUSE AND BAR PATRONS / STAFF. THE RED DASHED LINE SHOWING PATH OF EGRESS TO THE REQUIRED EXIT.
- REQUIRED EXITS TO BE IN ACCORDANCE WITH NCC VOL.1 D3D26 'OPERATION OF LATCH' DORMAKABA' (OR EQUIVALENT) SINGLE DOWNWARD ACTION, SINGLE BARREL 'ESCAPE DOOR' SETS; INSTALLED AT 1000mm ABOVE FLOOR LEVEL. ENSURE INTERNAL ESCAPE FUNCTION INSTALLED CORRECTLY IN RELATION TO PATH OF EGRESS.
- CP02 - GLAZING**  
NEW GLAZING IN ACCORDANCE WITH AS1288-2006 AND GLAZING ASSEMBLIES WILL BE ASSEMBLED IN ACCORDANCE WITH AS2047
- CP03 - LIGHTING**  
ARTIFICIAL LIGHTING IN ACCORDANCE WITH AS1680.0
- CP04 - MECHANICAL VENTILATION**  
MECHANICAL VENTILATION SYSTEMS TO OUTSIDE AIR IN ACCORDANCE WITH AS1668.2
- CP05 - INTERNAL LININGS AND MATERIALS**  
AS PER NCC VOL.1 C2D11, THE FIRE HAZARD PROPERTIES OF THE FOLLOWING INTERNAL LININGS, MATERIALS AND ASSEMBLIES WITHIN THE CLASS 2 TO 9 (UNSPRINKLERED) AREAS OF THE BUILDING ARE TO COMPLY WITH SPECIFICATION 7:
- (I) FLOORS ARE TO BE BURNISHED AND SEALED CONCRETE, WITH NO LININGS AND FLOOR COVERINGS.
- (II) (AS THERE ARE NO FIRE-ISOLATED CORRIDORS, FIRE CONTROL ROOMS, OR PUBLIC CORRIDORS) THE WALL LININGS AND CEILING LININGS TO 'SPECIFIC' AND 'OTHER' AREAS ARE REQUIRED GENERALLY TO BE FROM GROUP 1, 2, OR 3.
- INTERNAL LININGS TO BE:**  
- GROUP 2 FIRE-RATED 12-13MM BB PLYWOOD (EG AUSTRAL FR PANEL) TO INTERNAL TIMBER FRAMED WALLS  
- CEILING TO BE EXPOSED KNAUF 'SPACE BLANKET' FOIL-BACKED GLASSWOOL INSULATION
- CP06 - WATERPROOFING**  
WET AREA WATERPROOFING IN ACCORDANCE WITH BCA PART F2 AND AS3740
- CP07 - EXIT / EMERGENCY LIGHTING**  
EXIT SIGNS AND EMERGENCY LIGHTING TO BE INSTALLED IN ACCORDANCE WITH AS2293.1
- CP08 - PORTABLE FIRE EXTINGUISHERS**  
LOCATION AND SELECTION OF FIRST RESPONSE FIGHTING EQUIPMENT TO BE IN ACCORDANCE WITH AS2444
- CP09 - SIGNAGE**  
- BRAILLE AND TACTILE SIGNAGE COMPLYING WITH SPECIFICATION 15 MUST INCORPORATE THE INTERNATIONAL SYMBOL OF ACCESS OR DEAFNESS, AS APPROPRIATE, IN ACCORDANCE WITH AS 1428.1 AND IDENTIFY THE FOLLOWING RELEVANT ITEMS:  
- EACH SANITARY FACILITY  
- EACH DOOR REQUIRED BY E4D5 TO BE PROVIDED WITH AN EXIT SIGN  
- SIGNAGE IN ACCORDANCE WITH AS 1428.1 MUST BE PROVIDED FOR THE ACCESSIBLE UNISEX SANITARY FACILITY TO IDENTIFY IF THE FACILITY IS SUITABLE FOR LEFT OR RIGHT HANDED USE.  
- SIGNAGE TO IDENTIFY THE AMBULANT ACCESSIBLE SANITARY FACILITY IN ACCORDANCE WITH AS 1428.1 IS TO BE LOCATED ON THE DOOR OF THE FACILITY.  
- DIRECTIONAL SIGNAGE INCORPORATING THE INTERNATIONAL SYMBOL OF ACCESS, IN ACCORDANCE WITH AS 1428.1 IS TO BE PROVIDED TO DIRECT A PERSON TO THE LOCATION OF THE NEAREST ACCESSIBLE PEDESTRIAN ENTRANCE.



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REGISTRATION NO: SA3935

**'YARD NATION'**

16 FULLARTON RD, NORWOOD SA 5067

**THIS SHEET SCALED FOR A3 PRINT**

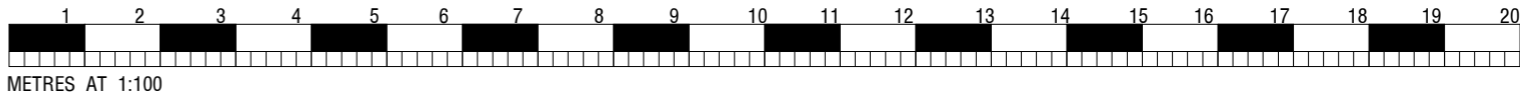
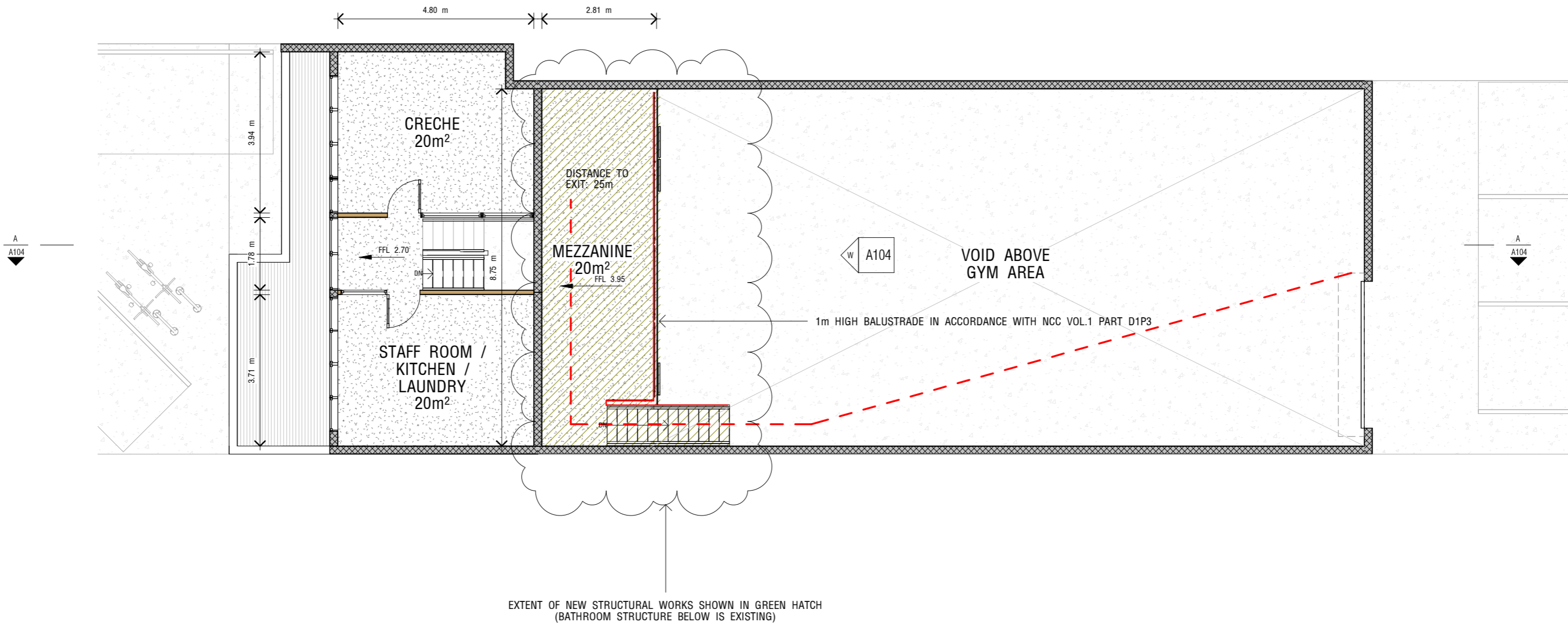
BUILDER TO VERIFY ALL DIMENSIONS. SITE MEASURE TO TAKE PRECEDENCE OVER DIMENSIONS ON DRAWINGS.

**DRAWING ISSUE / REVISION LOG**

PLANNING APPROVAL SET	
BUILDING PERMIT SET	30/01/25
REVISION NUMBER / DATE	
CONTRACTING SET	
REVISION NUMBER / DATE	

**FLOOR PLAN (MAIN LEVELS)**

CHECKED BY: CW	DRAWN BY: BM	SCALE: 1 : 100	NORTHPOINT	DRAWING NO
DATE: 30/01/25				A101



**MOLD DESIGN STUDIO**  
81 Dew Street  
Thebarton, SA 5031  
P: (08)8340-9221  
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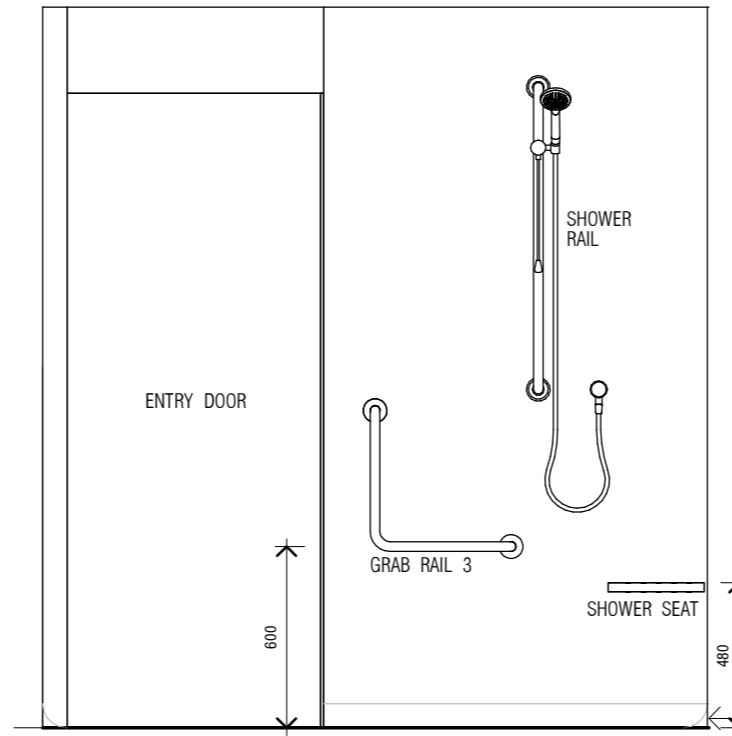
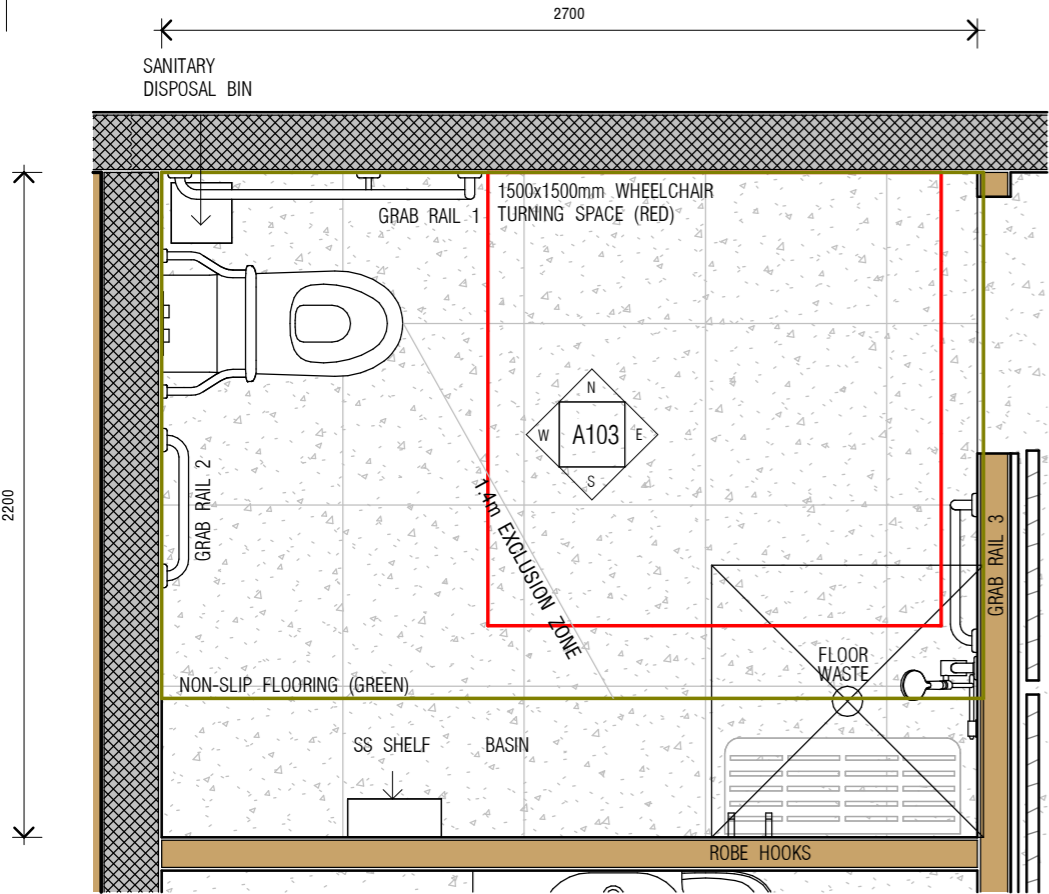
**'YARD NATION'**  
16 FULLARTON RD, NORWOOD SA 5067  
**THIS SHEET SCALED FOR A3 PRINT**  
BUILDER TO VERIFY ALL DIMENSIONS. SITE MEASURE TO TAKE PRECEDENCE OVER DIMENSIONS ON DRAWINGS.

DRAWING ISSUE / REVISION LOG	
PLANNING APPROVAL SET	
BUILDING PERMIT SET	30/01/25
REVISION NUMBER / DATE	
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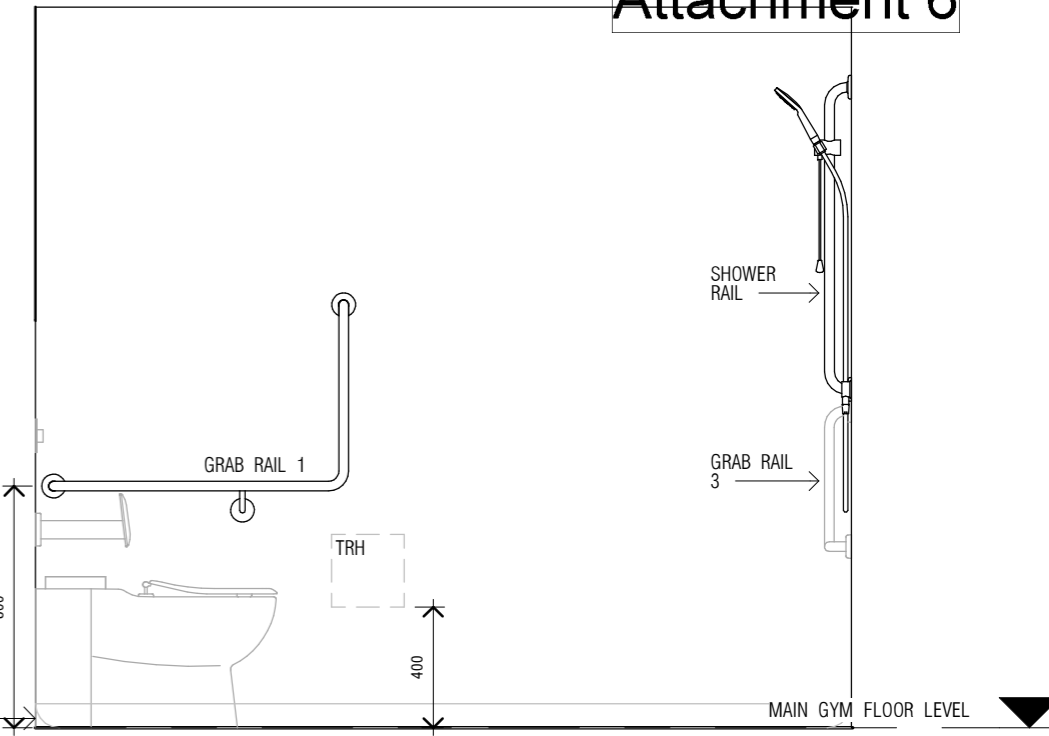
FLOOR PLAN (UPPER LEVELS)			
CHECKED BY: CW	DRAWN BY: BM	SCALE: 1 : 100	NORTHPOINT
DATE: 30/01/25			DRAWING NO A102



Attachment 6



E ACCESS WC INT ELEVATION E  
1 : 25



N ACCESS WC INT ELEVATION N  
1 : 25

1 FLOOR PLAN - ACCESSIBLE SANITARY COMPARTMENT

1 : 25

SCHEDULE  
AS1428.1 SANITARY FIXTURES/FITTINGS - ACCESSIBLE

PAN & CISTERN	CAROMA CARE 800 CLEANFLUSH WALL FACED INVISI SERIES II SUITE WITH BACKREST
BASIN	CAROMA OPAL 720 WALL BASIN WITH SHROUD
WC GRAB RAIL 1	CAROMA VIRTU COMFORT GRAB RAIL 1030x600 90deg vertical
WC GRAB RAIL 2	CAROMA VIRTU COMFORT GRAB RAIL 450mm
HAND BASIN TAP	CAROMA ACQUA CARE BASIN MIXER

TOILET ROLL HOLDER	BY OWNER
ROBE HOOK	BY OWNER

AS1428.1 SANITARY FIXTURES/FITTINGS - AMBULANT

PAN & CISTERN	CAROMA CARAVELLE EASY HEIGHT CLOSE COUPLED AMBULANT SUITE WITH DOUBLE FLAP SEAT
WC GRAB RAIL 1	CAROMA OPAL SUPPORT RAIL 135 DEGREE LEFT/RIGHT HAND ANGLED

FLOORING  
NON-SLIP VINYL - POLYSAFE VOGUE ULTRA

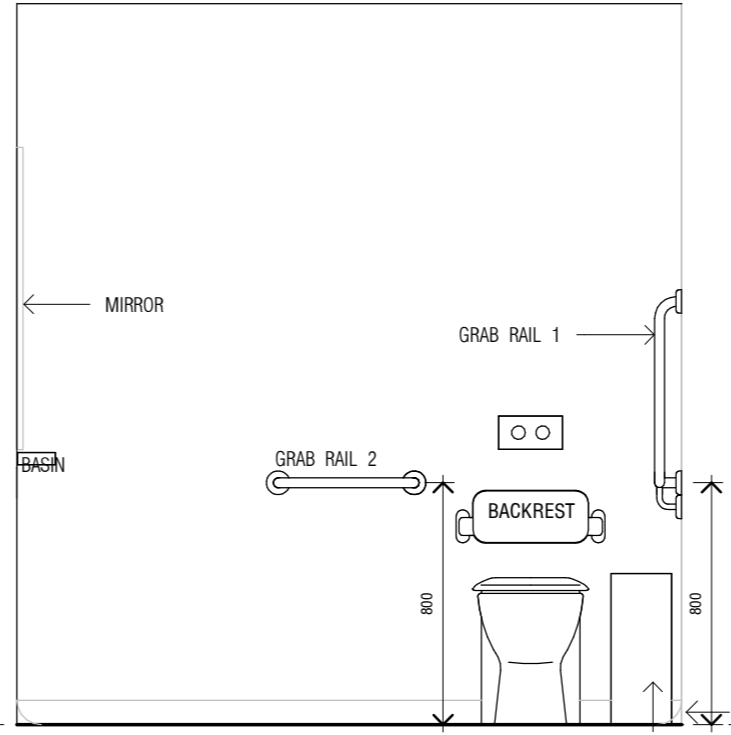
SIGNAGE BY BRAILLE SIGN SUPPLIES AUSTRALIA  
'ACCESSIBLE WC'

- FLOOR AND WASTE OUTLET**
- THE FLOOR OF ANY SHOWER RECESS AND ASSOCIATED CIRCULATION SPACE SHALL BE SELF-DRAINING AND WITHOUT A STEP-DOWN, OR RAISED HOB/KERB
  - THE SLOPE OF THE SHOWER RECESS TO A CENTRAL WASTE SHALL BE BETWEEN 1:60 AND 1:80
  - THE SLOPE OF THE SHOWER RECESS TO A LINEAR DRAIN SHALL BE CONSTANT WITHIN THE RANGE OF 1:50 AND 1:90
  - THE SLOPE OF THE REMAINDER OF THE FLOOR WITHIN THE SANITARY COMPARTMENT SHALL BE WITHIN 1:90 AND 1:100

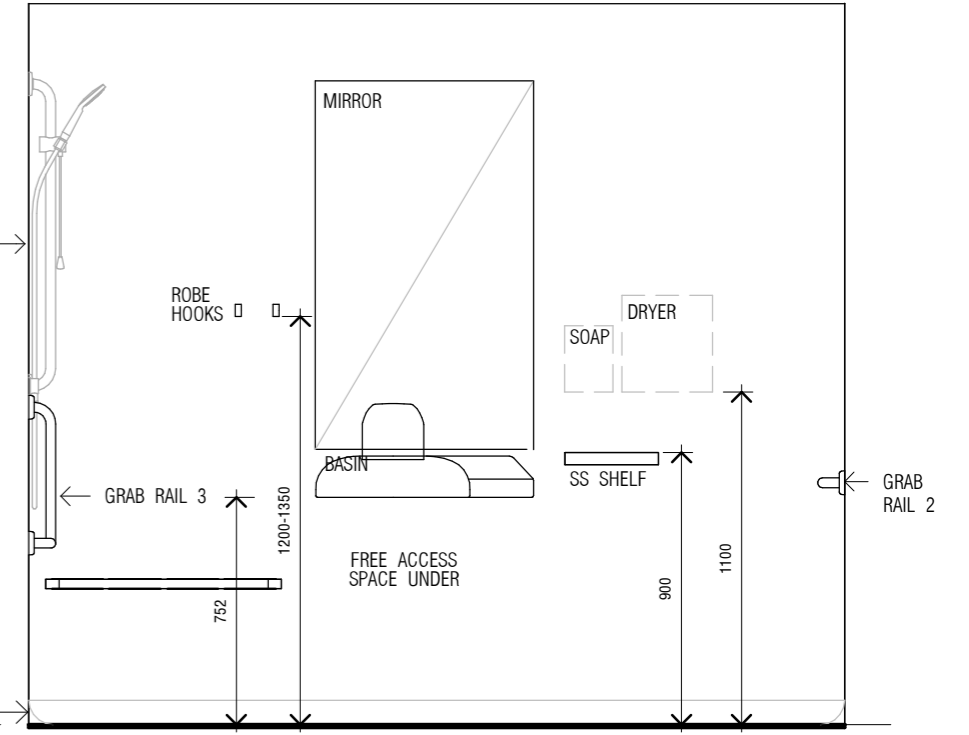
LOCATION OF BRAILLE AND TACTILE SIGNS

SIGNS INCLUDING SYMBOLS, NUMBERING AND LETTERING MUST BE DESIGNED AND INSTALLED AS FOLLOWS:

- BRAILLE AND TACTILE COMPONENTS OF A SIGN MUST BE LOCATED NOT LESS THAN 1200MM AND NOT HIGHER THAN 1800MM HIGHER THAN THE FLOOR OR GROUND SURFACE
- SIGNS WITH SINGLE LINES OF CHARACTERS MUST HAVE THE LINE OF TACTILE CHARACTERS NOT LESS THAN 1200MM AND NOT HIGHER THAN 1800MM ABOVE THE FLOOR OR GROUND SURFACE
- SIGNS IDENTIFYING ROOMS CONTAINING FEATURES OR FACILITIES LISTED MUST BE LOCATED
  - 1. ON THE WALL ON THE LATCH SIDE OF THE DOOR WITH THE LEADING EDGE OF THE SIGN LOCATED BETWEEN 50MM AND 300MM FROM THE ARCHITRAVE
  - 2. WHERE IT IS NOT POSSIBLE, THE SIGN MAY BE PLACED ON THE DOOR ITSELF



W ACCESS WC INT ELEVATION W  
1 : 25

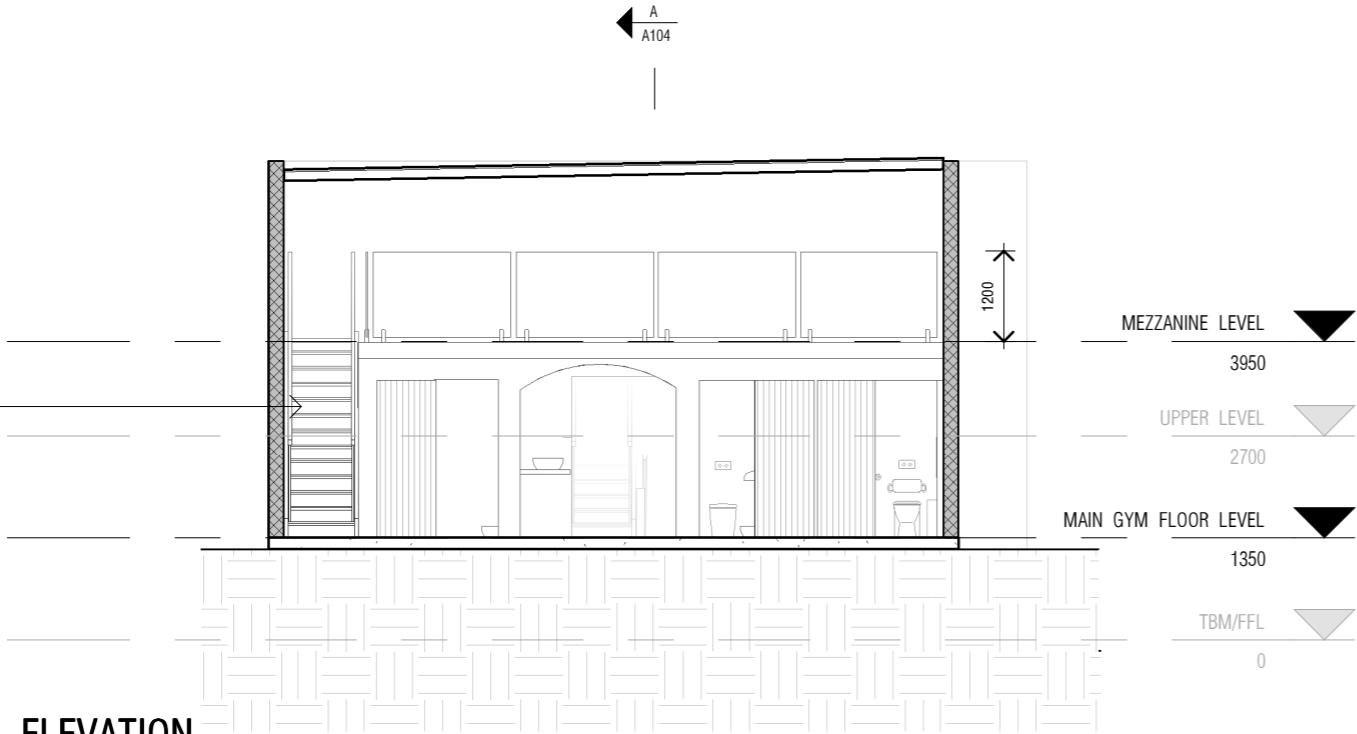


S ACCESS WC INT ELEVATION S  
1 : 25

	MOLD DESIGN STUDIO 81 Dew Street Thebarton, SA 5031 P: (08)8340-9221 M: 0414-821-995 E: info@moldstudio.com REGISTRATION NO: SA3935	'YARD NATION' 16 FULLARTON RD, NORWOOD SA 5067 THIS SHEET SCALED FOR A3 PRINT BUILDER TO VERIFY ALL DIMENSIONS. SITE MEASURE TO TAKE PRECEDENCE OVER DIMENSIONS ON DRAWINGS.	DRAWING ISSUE / REVISION LOG PLANNING APPROVAL SET BUILDING PERMIT SET REVISION NUMBER / DATE CONTRACTING SET REVISION NUMBER / DATE	ACCESS WC			
				CHECKED BY: CW	DRAWN BY: BM	SCALE: 1 : 25	NORTHPOINT
				DATE: 30/01/25			DRAWING NO A103

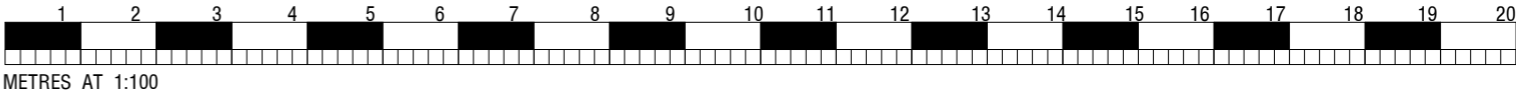
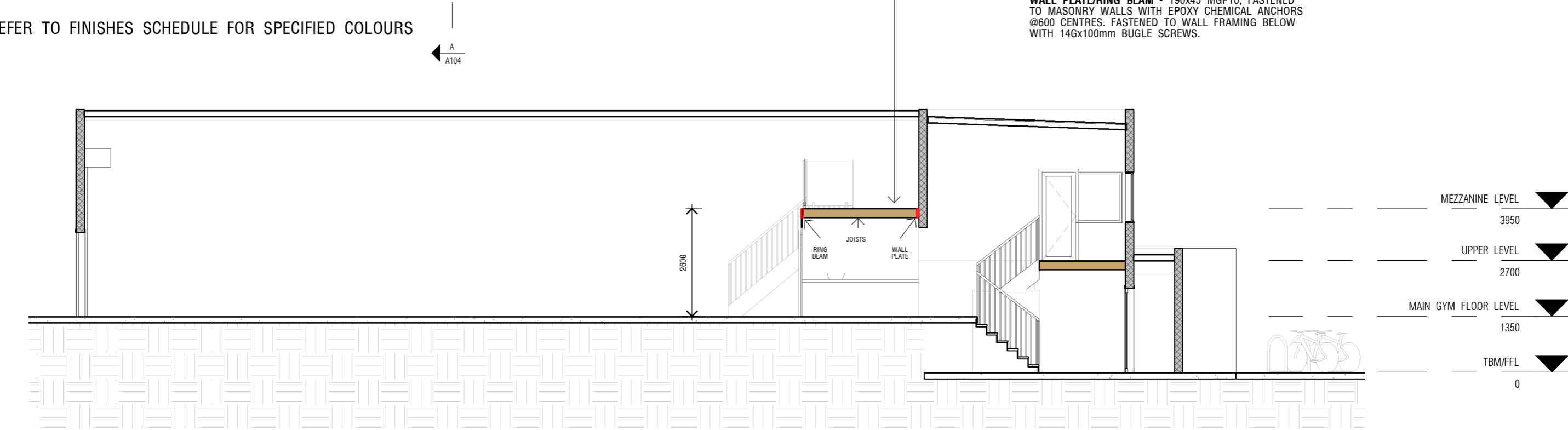
STAIRS FABRICATED  
AND INSTALLED BY  
AN ACCREDITED STAIR  
MANUFACTURER TO  
AS 1657-2018  
RISE: 185mm  
GOING: 240mm

NOTE:  
- STEEL STRINGERS  
- M12 BOLTS TO  
TIMBER STRUCTURE  
AT TOP  
- M12 BOLTS TO  
600x600x600 PAD  
FOOTINGS AT BASE



MEZZANINE STRUCTURE

FLOORING - 19mm 'STRUCTAFLOR'  
JOISTS - 190x45 MGP10 @450 CENTRES, FASTENED TO  
WALL PLATE OR RING BEAM WITH AS1684 & AS1720  
COMPLIANT JOIST HANGERS. EG 'PRYDA 'MPFBK45180'  
WITH 4/35mm SCREWS PER SIDE TO JOIST 4/35mm  
SCREWS PER SIDE TO WALL PLATE.  
WALL PLATE/RING BEAM - 190x45 MGP10, FASTENED  
TO MASONRY WALLS WITH EPOXY CHEMICAL ANCHORS  
@600 CENTRES. FASTENED TO WALL FRAMING BELOW  
WITH 14Gx100mm BUGLE SCREWS.



MOLD DESIGN STUDIO

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REGISTRATION NO: SA3935

'YARD NATION'

16 FULLARTON RD, NORWOOD SA 5067

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BUILDER TO VERIFY ALL DIMENSIONS. SITE MEASURE TO TAKE PRECEDENCE OVER DIMENSIONS  
ON DRAWINGS.

DRAWING ISSUE / REVISION LOG

PLANNING APPROVAL SET  
BUILDING PERMIT SET 30/01/25  
REVISION NUMBER / DATE  
CONTRACTING SET  
REVISION NUMBER / DATE

INTERNAL ELEVATION / SECTION

CHECKED BY: CW

DRAWN BY: BM

SCALE: 1 : 100

DATE: 30/01/25

NORTHPOINT

DRAWING NO

A104

mold



LANDSCAPING  
TO BE REMOVED  
AND AREA SEALED

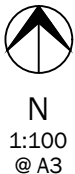
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VER	DATE	DESCRIPTION	DWN	CHK
A	11/09/2024	TURN PATH ASSESSMENT	RNM	CHG

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FITNESS CENTRE  
16 FULLARTON ROAD, NORWOOD  
TURN PATH ASSESSMENT - EGRESS  
PROJECT # 24399      SHEET # 02\_SH03

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**Ref: 24399|CGB**

6 August 2024

Ms Stevie-Ann Spencer

By email: [stevieannspencer@gmail.com](mailto:stevieannspencer@gmail.com)

Dear Stevie-Ann,

**PROPOSED FITNESS CENTRE  
16 FULLARTON ROAD, NORWOOD**

I refer to the proposed change-in-use from office to indoor recreation facility (fitness centre) of the site at 16 Fullarton Road, Norwood. As requested, I have undertaken a review of the traffic and parking aspects of the proposal. This letter summarises the assessment undertaken.

**1. BACKGROUND**

The subject site is located approximately 25 m south of the intersection Chapel Street and Fullarton Road, Norwood. The site is bounded by Fullarton Road to the west and commercial development on all other sides.

The site's current use is an office with a floor area of 350 m<sup>2</sup>. Vehicle access to the site is currently provided via an existing two-way crossover on Fullarton Road (at which access is restricted to left-in/left-out movements only) and a common two-way crossover on Chapel Street (at which all movements are permitted). The site's Fullarton Road access point provides access to four off-street parking spaces (located in front of the site), whilst the Chapel Street access point provides access to a further three off-street parking spaces (located at the rear of the site). The Planning and Design Code identifies that the site is located within a Suburban Business Zone.

Fullarton Road is an arterial road under the care and control of the Department for Infrastructure and Transport (DIT). Adjacent the site, Fullarton Road comprises two traffic lanes and a bicycle lane in a northbound direction and a single traffic lane and a bicycle lane in a southbound direction. Northbound and southbound lanes on Fullarton Road are separated by raised median islands, with separated turn lanes provided at side-street intersections. Bicycle lane restrictions apply on both sides of the road at all times. Paved footpaths are provided on both sides of Fullarton Road, facilitating both pedestrian and

cyclist movements (cyclists are also able to ride within the bicycle lanes provided). A pedestrian refuge facility is located in front of the subject site on Fullarton Road. Traffic data obtained from DIT indicates that this section of Fullarton Road has an Annual Average Daily Traffic (AADT) volume in the order of 24,000 vehicles per day (vpd), of which approximately 1.5% are commercial vehicles. Adjacent the site, a 60 km/h speed limit applies on Fullarton Road.

Chapel Street is a local road under the care and control of the City of Norwood Payneham St Peters. Adjacent the site, Chapel Street comprises an 8.5 m wide carriageway (approximate) with a single traffic lane in each direction. On-street parking is prohibited on the northern side of Chapel Street via 'No Stopping' line marking, whilst unrestricted on-street parallel parking is provided on the southern side. Paved footpaths are provided on both sides of Chapel Street, facilitating both pedestrian and cyclist movements. Cyclists are also able to ride on-road, sharing the carriageway with motor vehicles. A 40 km/h Area speed limit applies on Chapel Street.

Fullarton Road and Chapel Street form a priority-controlled (Give Way) T-intersection, with priority assigned to Fullarton Road. Movements at the intersection are restricted to left-in/left-out and right-in only by the median island on Fullarton Road.

Figure 1 illustrates the location of the subject site with respect to the adjacent road network.



Figure 1 – Location of the subject site with respect to the adjacent road network



## 2. PROPOSAL

The proposal seeks a change-in-use of the site use from office to indoor recreation facility (fitness centre). It should be noted that the proposal includes no amendments to existing access points or parking areas, nor does it propose any significant amendments to the site's existing building structures (i.e., only minor amendments are proposed to internal fixtures, cladding, signage and landscaping).

The Client advises that the proposed fitness centre will operate six days per week, with the proposed weekly class timetable shown in Table 1.

*Table 1 – Proposed class timetable*

	Monday to Thursday	Friday	Saturday
AM	5:00-5:45 am	5:00-5:45 am	7:00-7:45 am
	6:00-6:45 am	6:00-6:45 am	8:00-8:45 am
	7:00-7:45 am	7:00-7:45 am	
	9:30-10:15 am	9:30-10:15 am	
PM	4:30-5:15 pm	5:00-5:45 pm	
	5:30-6:15 pm		

CIRQA has been advised that classes will accommodate a maximum of 22 clients, with up to two (2) staff members on-site at any time (for the entire duration of the morning and afternoon sessions, respectively). It should be noted that class session start/finish times are proposed to be staggered by 15 minutes to limit on-site attendance to one class group at a time.

## 3. PARKING ASSESSMENT

The site is located within a Suburban Business Zone and within 200 metres of a road along which high-frequency public transport services operate (i.e. the Magill Road 'Go Zone' corridor is located approximately 130 m north of the site). Accordingly, as identified by the Planning and Design Code, the subject site is located within a Designated Area and the following (Deemed-to-Satisfy/Designated Performance Feature) parking rates apply to the proposal:

- **non-residential development** (excluding tourist accommodation):
  - minimum of 3 spaces per 100 m<sup>2</sup> of gross leasable floor area; and
  - maximum of 6 spaces per 100 m<sup>2</sup> of gross leasable floor area.

Given that the development proposes no change to the site's floor area, there is no change to parking requirements and therefore the status quo is retained.



#### **4. TRAFFIC ASSESSMENT**

The NSW RTA 'Guide to Traffic Generating Developments' (the RTA Guide), identifies peak period trip generation rates of 1.6 am and 1.2 pm peak hour trips per 100 m<sup>2</sup> of floor area for the site's existing office land use. Based on this rate, the site's existing use is forecast to generate in the order of 6 am peak hour and 5 pm peak hour trips. Given that the site comprises four (4) spaces accessed via Fullarton Road and three (3) spaces accessed via Chapel Street, it is estimated that at least 4 peak hour movements would typically occur via the site's Fullarton Road access point, and that (given that these movements would typically be associated with commuter activity) these movements would typically coincide with the network peak hour.

With regard to traffic generation associated with the proposed use, given that the types of indoor recreation facilities are many and varied, assessment of the traffic generation associated with such facilities is typically based on a 'first principles' assessment. Considering the number of clients and staff on site for each class (which are held at 60-minute intervals), it is estimated that the proposal would generate in the order of 44 peak hour movements by clients, assuming conservatively that each client accesses the site in a separate vehicle, and two (2) peak hour movements by staff, assuming that both staff members attending the site each generate a single ingress movement during the am peak hour and a single egress movement during the pm peak hour at the site. It is therefore forecast that the development has the potential to generate up to 46 movements in the site's am and pm peak hours on both weekdays and weekends.

Traffic data obtained from DIT indicates that this section of Fullarton Road has an am peak hour between 8:00 am and 9:00 am and a pm peak hour between 3:00 pm and 4:00 pm on weekdays. Given that the proposed class schedule does not include classes during these times, the site's peak hour would not coincide with the peak hour of Fullarton Road (and, based on the schedule, the development is forecast to generate negligible network peak hour movements).

Furthermore, it is proposed to designate two of the spaces accessed via Fullarton Road as 'staff only' spaces. Staff accessing these spaces will typically arrive before 7:00 am and leave after 10:15 am for morning classes and will typically arrive after 4:00 pm and leave after 6:00 pm for afternoon classes. Therefore, access to staff spaces (via the Fullarton Road access) would not occur during the network peak hours. The remaining two spaces within the parking area at the front of the site would be available to clients are forecast to generate in the order of four (4) peak hour movements (i.e. two ingress and two egress movements). Therefore, the development's forecast traffic generation at the Fullarton Road access point would be akin to the traffic generation associated with the site's existing office use.

The balance of client parking demand (conservatively forecast as demand for a further 20 vehicle spaces) would be accommodated within the parking area to the rear of the site (3 spaces) and on-street within the local street network in the vicinity of the site. However,



given the site's location in proximity to relatively densely populated residential areas in St Peters, College Park, Norwood and Stepney, it is likely that a proportion of clients would walk or cycle to and from the development.

The development's (conservative) forecast 46 peak hour movements would be distributed across the site's two access points and adjoining road network and are therefore expected to be adequately accommodated at the access points and adjacent intersections.

Notably, the designation of two staff spaces within the parking area accessed via Fullarton Road leaves only two spaces within this parking area for client use. This reduced parking capacity is likely to result in the Fullarton Road parking area being the least preferred parking area for clients, thereby minimising the number of movements that the development generates via Fullarton Road (and the Fullarton Road access point).

Based on the above discussion, it is considered that vehicle movements generated by the proposal will be readily accommodated on the adjacent road network with minimal impact upon its operation.

## **5. SUMMARY**

The proposal comprises the change-of-use of the site at 16 Fullarton Road, Norwood, from office to indoor recreation facility (fitness centre). The proposal includes retention of existing building structures, access points and parking areas.

Given the site's location within a Designated Area and given that no changes are proposed to the site's floor area, the proposal results in no additional parking requirements.

With regard to the site's traffic generation, the proposed change-in-use will generate in the order of 46 movements during the site's peak hour (including up to 6 trips via the Fullarton Road access point). However, due to class scheduling, the development's peak hour will not coincide with the peak hour on the adjacent road network. Outside of the network peak hour, the development is forecast to generate in the order of 44 peak hour client movements, (including up to 4 movements via the Fullarton Road access point which is akin to the level of traffic associated with the site's existing office use). The level of traffic forecast to be generated by the development will be distributed across two access points and the adjacent local road network and is therefore expected to be adequately accommodated with minimal impact on adjacent roads and intersections.

Please feel free to contact me on (08) 7078 1801 should you require any additional information.



Yours sincerely,

A handwritten signature in blue ink, appearing to read "Chris Bentick", written in a cursive style.

**CHRIS BENTICK**

Senior Transport Planner | CIRQA Pty Ltd



NATIONAL NOISE & VIBRATION

# 16 FULLARTON RD, KENT TOWN SA 5067

## GYM NOISE EMISSIONS ASSESSMENT

AUGUST 12, 2024

National Noise & Vibration  
1300 617 439  
[engineering@nationalnoise.com.au](mailto:engineering@nationalnoise.com.au)  
ABN 99 665 265 814

Project Information

Details	
Report Title:	GYM NOISE EMISSIONS ASSESSMENT
Address:	16 Fullarton Rd, Kent Town SA 5067
Client:	The Yard Gym
Attention:	Stevie Ann Spencer

Document Control

Reference	Issue Date	Revision	Prepared	Reviewed	Authorised
J0876	August 12, 2024	00	MS	MP	MP

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## 1 INTRODUCTION

National Noise & Vibration has been engaged by The Yard Gym to conduct an Gym Noise Emissions Assessment for the proposed gym located at 16 Fullarton Rd, Kent Town SA 5067.

The nearest noise sensitive receivers that may be impacted by noise emissions from the gym have been identified. This report also sets out recommendations (where deemed feasible and reasonable) to reduce any impact on the amenity of the adjacent noise sensitive receivers.

The potential noise emissions from the gym have been assessed against the requirements of:

- **South Australia Department of Planning**
  - Plan SA Planning and Design Code 2024.7
  - The Environment Protection (Commercial and Industrial Noise) Policy 2023
- **Association of Australasia Acoustical Consultants (AAAC)**
  - Guideline for Acoustic Assessment of Gymnasium and Exercise Facilities v.1.0

## 2 SITE DESCRIPTION

### 2.1 Project Description

The Yard Gym offers small group training classes. There is no open access to the gym outside of class hours. There are mainly two types of classes divided into two gym areas:

- Turf → Mixture of cardiovascular movements. The aim is to be working on the ability to sustain physical and mental stamina for an extended period of time.
- Rig → RIG sessions help build strength. They are focused on power, strength and endurance, spending a lot of time on “The Rig” focusing on a range of movement, functional and hypertrophy training.

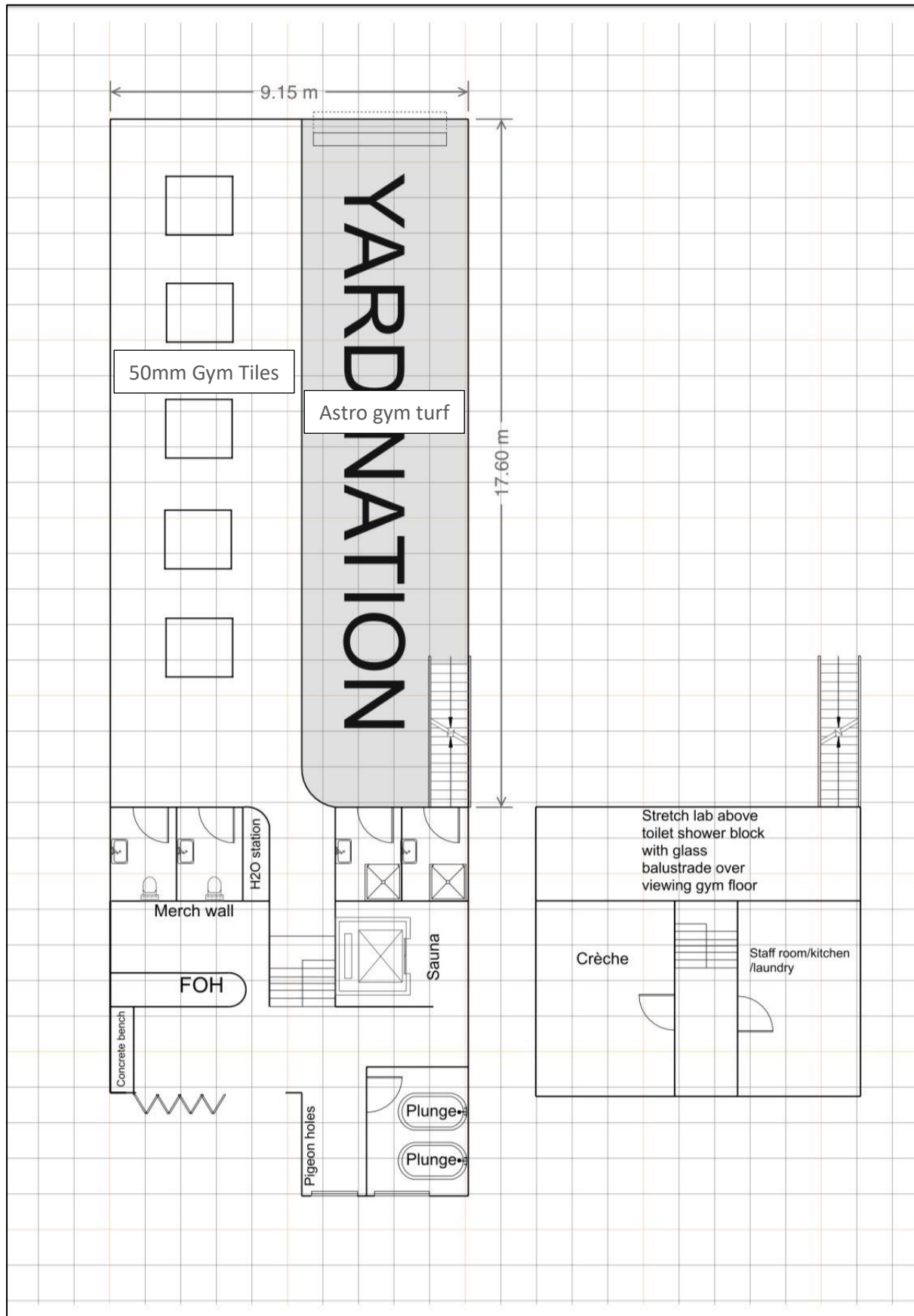
For two days a week there is also a Pilates and Yoga Stretching class which are not considered in the assessment since they’re not expected to generate noise compared to the other classes.

It is understood that there is a maximum of 22 participants and 2 staff members at any given time. The operating hours of the gym are provided in Table 1 and a floor plan is provided in Figure 1.

Table 1 - Operational hours

Activity	Day of Week	Operating Hours
Rig & Turf	Monday - Thursday	5:00am – 5:45am
		6:00am – 6:45am
		7:00am – 7:45am
		9:30am – 10:15am
		4:30pm – 5:15pm
		5:30pm – 6:15pm
	Friday	5:00am – 5:45am
		6:00am – 6:45am
		7:00am – 7:45am
		9:30am – 10:15am
	Saturday	5:00pm – 5:45pm
		7:00am – 7:45am
		8:00am – 8:45am

Figure 1 – The Yard Gym Floor Plan



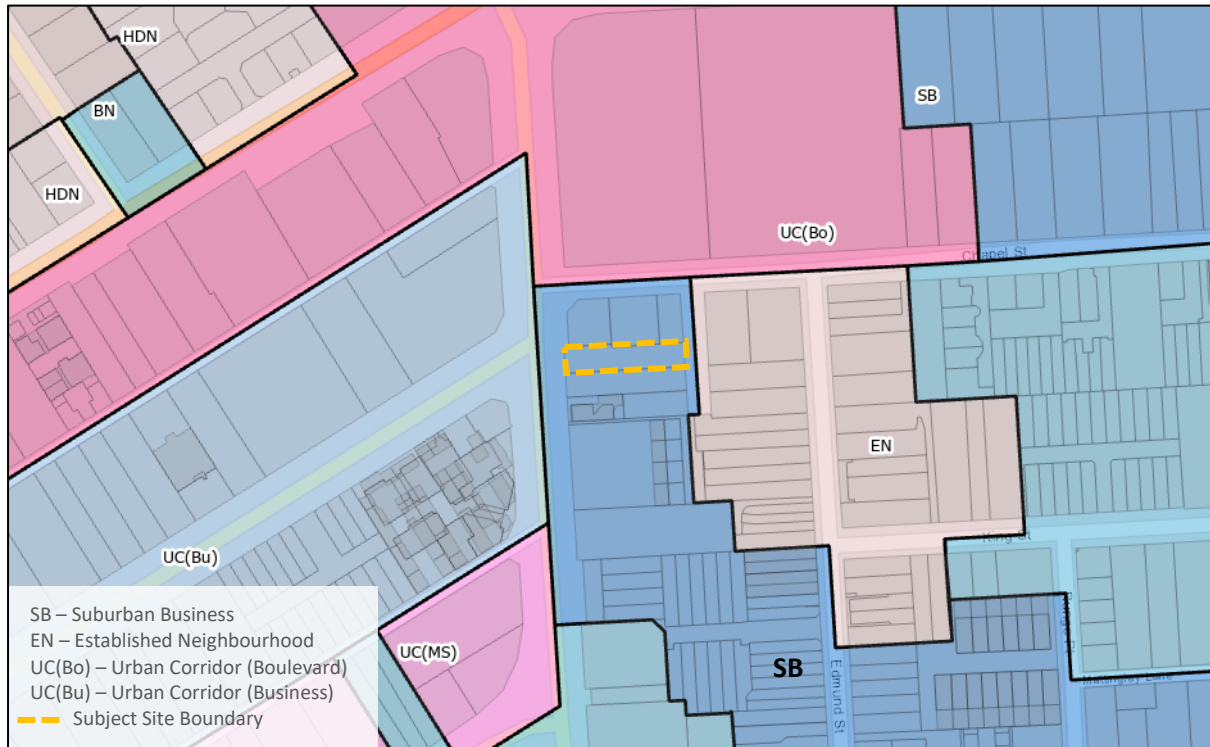
## 2.2 Project Locality

The gym is located on land zoned SB – Suburban Business. The subject site is bound:

- to the North and South by land designated as SB – Suburban Business.
- to the East by land designated as EN – Established Neighbourhood.
- To the West by land designated as UC(Bu) – Urban Corridor (Business).

The surrounding zoning areas have been presented within Figure 2.

Figure 2 – Zoning of surrounding areas (Sappa)



## 2.3 Nearest Noise Sensitive Receivers

The nearest noise sensitive receivers are summarised in Table 2 and presented in Figure 3.

Figure 3 - Aerial imagery of 16 Fullarton Rd, Kent Town SA 5067 (NationalMap)



Table 2 - Noise Sensitive Receivers Locations

ID	Type	Receiver Address
R1	Residential	12-16 Chapel St, Norwood SA 5067
R2		5 Edmund St, Norwood SA 5067
C1	Commercial	117 King William St, Kent Town SA 5067 (Offices)
C2		2-6 Chapel St, Norwood SA 5067 (Offices)
C3		18 Fullarton Rd, Norwood SA 5067 (Offices)
C4		11 Fullarton Rd, Kent Town SA 5067 (Massage centre)
C5		10 Chapel St, Norwood SA 5067 (Warehouse)

### 3 EXISTING AMBIENT NOISE LEVELS

#### 3.1 Sound level Descriptors

Noise level descriptors used in the assessment are explained below. For analysing noise, the following descriptors are used:

- $L_{90}$  is known as background noise.  $L_{90}$  is a statistical sound level which describes the percentage of times a sound level is exceeded. This parameter is used to set up the allowable noise levels for intrusive noise sources since the level of disturbance of the intrusive noise source will be dependent on how audible it is above the existing noise environment.
- $L_{eq}$  is the equivalent sound level which represents the average noise level during a measurement period.  $L_{eq}$  describes a receiver's cumulative noise exposure from all events over a specified period of time for compliance assessment purposes.
- $L_{01}$  is the noise level exceeded for 1% of the measurement period. During the measurement period, the noise level is below the  $L_{01}$  level for 99% of the time.

- $L_{10}$  is the noise level exceeded for 10% of the measurement period. During the measurement period, the noise level is below the  $L_{10}$  level for 90% of the time. The  $L_{A10}$  is a common noise descriptor for environmental noise and road traffic noise.
- $L_{Amax}$  is the maximum instantaneous noise level during a measurement period.
- A-weighted Sound Level (instantaneous) is the most common weighting used in noise measurements and it represents the frequency range detectable by the human ear. A-weighted is used for noise measurements and prediction purposes.

### 3.2 Representative Background Noise Levels

Background noise for the project locality is taken from Appendix A of AS1055-3 (Description and Measurement of Environmental Noise – Part 3: Acquisition of Data Pertinent to Land Use). This standard outlines estimated average background levels for different localities around Australia. Applicable Estimated Background Noise Levels are presented in Table 3.

Table 3: Background Noise levels (AS1055-3)

Location	Date	Estimated Background Noise Level, $L_{90}$ dB(A)		
		Daytime (7am – 6pm)	Evening (6pm – 10pm)	Night-time (10pm – 7am)
Areas with dense transportation or with some commerce or industry	Monday to Saturday	55	50	45
	Sundays and Public Holidays	55	50	45

## 4 NOISE EMISSION CRITERIA

### 4.1 Planning and Design Code 2024.7

The gym is located within a Suburban Activity Centre. According to the Planning and Design Code 2024.7, in a Suburban Activity Centre Zone, developments such as indoor recreation facilities are allowed as long as they do not produce emissions that would detrimentally affect local amenity. The planning and Design Code refers to Part 4 – General Development Policies for the Deemed-to-satisfy Criteria relating to noise emissions:

#### Part 4 - General Development Policies

##### Interface Between Land Uses - Activities Generating Noise and Vibration:

##### Performance Outcome:

- **PO 4.1**
  - Development that emits noise (other than music) does not unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers).
- **PO 4.6**
  - Development incorporating music achieves suitable acoustic amenity when measured at the boundary of an adjacent sensitive receiver (or lawfully approved sensitive receiver) or zone primarily intended to accommodate sensitive receivers.

##### Deemed-to-Satisfy Criteria / Designated Performance Feature:

- **DTS/DPF 4.1**
  - Noise that affects sensitive receivers achieves the relevant Environment Protection (Commercial and Industrial Noise) Policy criteria.
- **DTS/DPF 4.6**

- *Development incorporating music includes noise attenuation measures that will achieve the following noise levels.*

<b>Assessment Location</b>	<b>Music Noise Level</b>
<i>Externally at the nearest existing or envisaged noise sensitive location</i>	<i>Less than 8dB above the level of background noise (L90,15min) in any octave band of the sound spectrum (LOCT10,15 &lt; LOCT90,15 + 8dB)</i>

#### 4.2 Environment Protection (Commercial and Industrial) Noise Policy (EPP) 2023

##### 4.2.1 Continuous Noise Sources Emission Criteria

According to DTS/DPF 4.1 of the SA Planning and Design Code 2023, noise affecting sensitive receivers (Except music noise) should achieve the noise limit criteria outlined in the EPP. The EPP uses land zoning to determine indicative noise levels that are used establish noise limit criteria.

Each land zone has principal land uses which determines the land use category of the zone. The proposed gym and nearest commercial receivers (C2, C3) are located in a Suburban Business Zone. Receivers C1 and C4 are located in a Urban Corridor (Business) Zone while receiver R1 and R2 are located within an Established Neighbourhood Zone.

According to the *Indicative noise factor guidelines for the Environment Protection (Commercial and industrial Noise) Policy 2023*, the zones' land use categories are the following:

- Suburban Business Zone → Residential, Light Industrial and Commercial Land Use Category
- Urban Corridor (Business) Zone → Light Industrial and Commercial Land Use Category
- Established Neighbourhood Zone → Residential Land Use Category

The noise source and commercial receivers C2 and C3 fall into the same land use category while residential receivers R1 and R2 and commercial receivers C1, C4 and C5 fall into a different category compared to the noise source.

According to Section 5 - *Indicative Noise Levels* of the EPP, the indicative noise level for a source is to be determined as follows:

- 4) *If the principal land uses under the relevant Planning and Design Code provisions for the noise source and the principal land uses under the relevant Planning and Design Code provisions for the noise-affected premises all fall within a single land use category, the indicative noise level for the noise source is the indicative noise factor for that land use category.*
- 5) *Subject to subclause (6), if the principal land uses under the relevant Planning and Design Code provisions for the noise source and the principal land uses under the relevant Planning and Design Code provisions for the noise-affected premises do not all fall within a single land use category, the indicative noise level is the average of the indicative noise factors for the land use categories within which those land uses fall.*
- 6) *Subclause (5) does not apply if the noise designated area in which the noise source is situated is separated from the noise designated area in which the noise-affected premises are situated by another noise designated area that is (on an imaginary straight line joining the noise source and the noise-affected premises) at least 100 metres wide, but instead subclause (4) applies as if the principal land uses under the relevant Planning and Design Code provisions for the noise source were the same as the principal land uses under the relevant Planning and Design Code provisions for the noise-affected premises.*

Table 4 - Indicative Noise Factors for Land Use Categories (Table 2 – EPP)

Land Use Category	Indicative Noise Factor dB(A)	
	Day (7:00AM – 10:00PM)	Night (10:00PM – 7:00AM)
Commercial	62	55
Residential	52	45
Light Industrial	57	50

Clause 19(3) of Part 5 of the EPP states that a predicted source noise level (continuous) for the development should not exceed the relevant indicative noise level less 5 dB(A).

Based on this, the noise emission criteria have been outlined in Table 5.

Table 5 – Established Noise Emission Criteria

Receiver	Receiver Land Use Category	Source Land Use Category	Predicted Source Noise Level Criteria = Indicative Noise Factor dB(A) – 5dB	
			Day (7:00AM – 10:00PM)	Night (10:00PM – 7:00AM)
C2 & C3	Residential, Light Industrial and Commercial	Residential, Light Industrial and Commercial	$57 - 5 = 52$	$50 - 5 = 45$
R1, R2, C5	Residential		$(57 + 52)/2 = 54$ $54 - 5 = 49$	$(50 + 45)/2 = 47$ $47 - 5 = 42$
C1 & C4	Light Industrial and Commercial		$(57 + 60)/2 = 58$ $58 - 5 = 53$	$(50 + 53)/2 = 51$ $51 - 5 = 46$

#### 4.2.2 Music Noise Emission Criteria

Music Noise Emission Criteria presented in Section 4.1 is summarised in Table 6 below. The octave band spectrum for background noise has been taken from a different measurement conducted in a similar location and adjusted so that the overall noise level matched the overall levels presented in Table 3.

Table 6 – Music Noise Criteria for Nearest Receivers

Period	Parameter	Octave Band Frequency, Hz								
		31.5	63	125	250	500	1000	2000	4000	8000
Day	Background Noise Level $L_{90}$	24	34	39	45	48	51	49	44	37
	Criteria $L_{10} = BG L_{90} + 8dB$	32	42	47	53	56	59	57	52	45
Night	Background Noise Level $L_{90}$	14	24	29	35	38	41	39	34	27
	Criteria $L_{10} = BG L_{90} + 8dB$	22	32	37	43	46	49	47	42	35

#### 4.3 AAAC Guideline for Acoustic Assessment of Gymnasium and Exercise Facilities v.1.0

For the purpose of this assessment, the  $L_{max}$  impulsive noise criteria have been taken from the AAAC guideline. These noise limits are assessed internally, not at the façade of the receiver.

##### 4.3.1 Impulsive Noise Emissions to Residential Receivers

The following criteria applies to impulsive noise from weight-drops or other similar sources. Overall contributed  $L_{AFmax}$  within octave bands of interest (octave bands containing the impulse energy,

generally, 31.5 Hz to 250 Hz, as determined by the acoustic consultant) should not exceed the following levels:

$$L_{AFmax}(\Sigma Oct, 31.5-250Hz) \leq 35 \text{ dB for daytime}^1$$

$$L_{AFmax}(\Sigma Oct, 31.5-250Hz) \leq 30 \text{ dB for evening}^2$$

$$L_{AFmax}(\Sigma Oct, 31.5-250Hz) \leq 25 \text{ dB for night-time}^3$$

Notes:

1. Daytime is 7am to 6pm
2. Evening is 6pm to 10pm
3. Night-time is 10pm to 7am\* (\*8am on Sundays and public holidays)
4. Justification would be required of the acoustician to vary any of the above

#### 4.3.2 Impulsive Noise Emissions to Non-Residential Receivers

The following criteria applies to impulsive noise from weight-drops or other similar sources. Overall contributed LAFmax within octave bands of interest (octave bands containing the impulse energy, generally 31.5 Hz to 250 Hz, as determined by the acoustic consultant) should not exceed the following levels:

$$L_{AFmax}(\Sigma Oct, 31.5-250Hz) \leq 40 \text{ dB for general uses}^1$$

$$L_{AFmax}(\Sigma Oct, 31.5-250Hz) \leq 35 \text{ dB for sensitive uses}^2$$

$$L_{AFmax}(\Sigma Oct, 31.5-250Hz) \leq 30 \text{ dB for critically sensitive uses}^3$$

Notes:

5. General uses may include office spaces and general working areas.
6. Sensitive uses may include private offices, classrooms, childcare and movie cinemas.
7. Critically sensitive uses may include noise sensitive laboratories and board rooms.
8. Justification would be required of the acoustician for the objective criteria adopted.

## 5 NOISE EMISSION ASSESSMENT

This section presents an analysis of noise emissions associated with the use of the gym to the nearest noise sensitive receivers based on the criteria established above.

### 5.1 Noise Modelling

Noise emissions levels at the nearest noise sensitive receivers have been calculated using computer-based 3D acoustic noise modelling software iNoise version 2023.1.1. iNoise utilizes ISO 9613 calculation algorithms to determine noise emission levels at the nearest affected noise sensitive receivers. The following assumptions have been included within the noise model:

- Distance attenuation.
- Atmospheric attenuation.
- Directivity.
- Ground absorption ( $G = 0$ )
- Barrier effects/screening.
- Ground Elevation Contours.

Noise contours have been generated to clearly identify the resulting noise level impacts at adjacent noise sensitive receivers at a height where the receiver is most impacted. Noise contours generated with iNoise can be found in Appendix A – iNoise Noise Contours.

Strutt acoustics has been used for calculations of noise transfer from the gym into the adjacent commercial units and from external noise level predictions to resultant internal noise levels at the receivers.

## 5.2 Operational Scenarios

In order to assess the worst-case operation of the gym, the following assumptions have been considered in the noise emission assessment:

- Noise emitted from the gym includes members, instructors, amplified music, equipment/machines and noise from mechanical units. All sources used in the assessment are presented in Table 7.
- All doors/windows and roller doors are closed.
- **Continuous Noise Emissions**
  - As a conservative approach, a total of 24 people (22 members and 2 instructors) are emitting noise, half with a normal and half with a raised voice.
  - Mechanical units running continuously. Two AC units mounted on the roof.
  - 4 rower machines being used, 4 bicycles being used, 4 ski machines being used, 4 treadmills being used all at the same time.
  - 7 vehicles are driving into site and leaving in the 15 min assessment period. Cars are idling in each car space for a few seconds.
- **Music Noise Emissions**
  - Music is continuously playing with a resultant internal sound pressure level as shown in Table 7.
- **Impulsive Noise Emissions**
  - 4 weight drops for each of these occurrences happening at the same time: Dead lift 80kg dropping onto gym tiles from knee height, Barbell dropping onto squat rack, 25kg dumbbell dropping on floor and 25kg kettlebell dropping on floor.

The noise modelling scenarios used for the noise emission assessment are outlined in Table 7. Scenarios are based on hours of operation of the gym and day and night period definitions as defined in the criteria in Section 4.

Table 7 - Gym Operational Scenarios

Criteria / Assessment	Scenario	Day of the Week	Operating Hours Day/Night	Noise Sources
Continuous Noise Emissions to Residential/Commercial Receivers	1	Monday to Saturday	Day	Members/Instructors Noise, Equipment/Machines, Mechanical Units, Vehicles
			Night	
Music Noise Emissions to Residential/Commercial Receivers	2		Day	Amplified Music
			Night	
Impulsive Noises to Residential Receivers	3		Day	Weight drops and other impulsive noises
			Night	
Impulsive Noises to Commercial Receivers	4		Day	

## 5.3 Noise Sources

The sound power levels of the AC unit servicing the gym has been taken from AC unit measurements conducted in the past. Sound power levels of human voices have been taken from AAAC – Licenced Premises Guideline v2. Amplified music, weight drops and machines reverberant sound pressure levels have been previously measured at other gyms of a similar size and layout. Octave band sound power levels and reverberant sound pressure levels used within the assessment are provided in Table

8. Octave band sound power levels and sound pressure levels are reported in A-weighting (Noise level perception of human ear).

Table 8 – Sources Sound Power Levels and Reverberant Sound Pressure Level

Noise Source	Total Sound Power Level, $L_{Aw}$ dB(A)	Octave Band Frequency (Hz) Sound Power Levels dB(A)								
		31.5	63	125	250	500	1k	2k	4k	8k
Multi Split System AC Outdoor Unit	70	41	52	57	61	63	65	62	56	49
Car Running (10km/h)	81	45	61	65	66	70	76	74	74	69
Car Idling	73	33	48	53	59	62	65	70	65	57
Raised Voice 1 person	74	14	36	48	62	70	70	66	61	53
Normal Voice 1 person	66	9	27	38	56	62	60	57	53	46
Noise Source	Total Reverberant Sound Pressure Level $L_{p-rev}$ dB(A)	Octave Band Frequency (Hz) Sound Pressure Levels dB(A)								
		31.5	63	125	250	500	1k	2k	4k	8k
Amplified Music ( $L_{A10}$ )	80	14	29	62	74	76	72	67	64	56
Ski Machine ( $L_{Aeq}$ )	68	34	33	42	52	57	59	56	54	52
Rower Machine ( $L_{Aeq}$ )	63	34	32	43	58	58	55	67	54	55
Bicycle ( $L_{Aeq}$ )	63	36	42	50	55	61	60	58	54	46
Treadmill ( $L_{Aeq}$ )	70	40	46	54	59	65	64	62	58	50
Dead lift 80kg dropping onto gym tiles from knee height ( $L_{Amax}$ )	87	38	40	60	70	75	80	81	83	75
Barbell dropping onto squat rack ( $L_{Amax}$ )	82	26	42	64	67	77	78	74	68	67
25kg dumbbell dropping on floor ( $L_{Amax}$ )	83	53	73	77	73	77	76	75	67	61
25kg kettlebell dropping on floor ( $L_{Amax}$ )	83	53	73	77	73	77	76	75	67	61

#### 5.4 Predicted Noise Levels

Predicted noise levels at the façade of the nearest residential receivers are presented in this section. Each table corresponds to one of the scenarios established in Table 7, as it can be seen in the tables' titles.

Table 9 - Predicted Noise Levels at the Nearest Receivers (Scenario 1)

Receiver	Predicted External Noise Level, $L_{eq,t}$ dB(A)	Day Time Noise Criteria, $L_{eq,t}$ dB(A)	Night Time Noise Criteria, $L_{eq,t}$ dB(A)	Complies?	
				Day	Night
R1	31	49	42	✓	✓

# Attachment 6

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12/08/2024

CITY OF NORWOOD PAYNEHAM ST PETERS  
PLANNING, DEVELOPMENT AND INFRASTRUCTURE ACT 2016  
PLANNING CONSENT GRANTED

National Noise & Vibration  
GYM NOISE EMISSIONS ASSESSMENT

R2	33			✓	✓	
C5	44		53	(Commercial receiver not operational)	✓	
C1	35				✓	
C4	35	✓				
C2	49	52	✓			
C3	51		✓			

Table 10 - Predicted Noise Levels at the Nearest Receivers (Scenario 2)

Period	Parameter		Octave Band Frequency, Hz								
			31.5	63	125	250	500	1000	2000	4000	8000
Day	Predicted Music Noise Level L <sub>10</sub>	R1	0	0	13	17	11	0	0	0	0
		R2	0	0	25	29	25	16	6	0	0
		C1	0	0	23	29	25	16	8	1	0
		C2	0	5	37	43	40	31	21	14	5
		C3	0	8	40	47	44	35	27	20	11
		C4	0	0	23	29	26	17	10	3	0
		C5	0	0	30	35	31	22	12	5	0
	Criteria L <sub>10</sub> = BG L <sub>90</sub> + 8dB		32	42	47	53	56	59	57	52	45
Noise Level Compliant?	R1		✓	✓	✓	✓	✓	✓	✓	✓	✓
	R2		✓	✓	✓	✓	✓	✓	✓	✓	✓
	C1		✓	✓	✓	✓	✓	✓	✓	✓	✓
	C2		✓	✓	✓	✓	✓	✓	✓	✓	✓
	C3		✓	✓	✓	✓	✓	✓	✓	✓	✓
	C4		✓	✓	✓	✓	✓	✓	✓	✓	✓
	C5		✓	✓	✓	✓	✓	✓	✓	✓	✓
Night	Predicted Music Noise Level L <sub>10</sub>	R1	0	0	13	17	11	0	0	0	0
		R2	0	0	25	29	25	16	6	0	0
	Criteria L <sub>10</sub> = BG L <sub>90</sub> + 8dB		22	32	37	43	46	49	47	42	35
Noise Level Compliant?	R1		✓	✓	✓	✓	✓	✓	✓	✓	✓
	R2		✓	✓	✓	✓	✓	✓	✓	✓	✓

Table 11 - Predicted Noise Levels at the Nearest Receivers (Scenario 3)

Parameter		Octave Band Frequency, Hz			
		31.5	63	125	250
Predicted Impulse Noise Level L <sub>max</sub>	R1 (External)	15 (Internal <25)	27 (Internal <25)	27 (Internal <25)	19 (Internal <25)
	R2 (External)	22 (Internal <25)	36 (Internal <25)	39 (Internal <25)	31 (Internal <25)
Day Criterion L <sub>AFmax</sub> ≤ 35 dB		35	35	35	35
Evening Criterion L <sub>AFmax</sub> ≤ 30 dB		30	30	30	30
Evening Criterion L <sub>AFmax</sub> ≤ 25 dB		25	25	25	25
Compliant with Day Criterion?	R1	✓	✓	✓	✓
	R2	✓	✓	✓	✓
Compliant with Evening Criterion?	R1	✓	✓	✓	✓
	R2	✓	✓	✓	✓
		R1	✓	✓	✓

Compliant with Night Criterion?	R2	✓	✓	✓	✓
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Table 12 - Predicted Noise Levels at the Nearest Receivers (Scenario 4)

Parameter		Octave Band Frequency, Hz			
		31.5	63	125	250
Predicted Impulse Noise Level $L_{max}$	C1 (External)	21 (Internal <40)	35 (Internal <40)	37 (Internal <40)	31 (Internal <40)
	C2 (Internal)	13	23	29	21
	C3 (Internal)	13	23	29	21
	C4 (External)	22 (Internal <40)	35 (Internal <40)	37 (Internal <40)	31 (Internal <40)
	C5 (External)	28 (Internal <40)	42 (Internal <40)	45 (Internal <40)	37 (Internal <40)
Day Criterion $L_{AFmax} \leq 40$ dB		40	40	40	40
Compliant with Day Criterion?	C1	✓	✓	✓	✓
	C2	✓	✓	✓	✓
	C3	✓	✓	✓	✓
	C4	✓	✓	✓	✓
	C5	✓	✓	✓	✓

## 6 DISCUSSION/RECOMMENDATIONS

The results of the noise emission assessment presented in Section 4.3 are indicative that noise emissions from the gym achieve compliance with the criteria at all times.

### 6.1 Management Plan

The AAAC guideline for gymnasiums facilities includes a section containing suggestions on mitigations and managements measures which may be incorporated into exercise facilities. To ensure noise impacts are kept at a minimum, the following recommendations are suggested to be, if not already, incorporated into the gym's noise management plan.

The key measures to be implemented are as follows:

1. A management plan incorporating measures to protect the acoustic amenity of the surrounding area should be implemented by the proprietor. Such a management plan should outline policies and procedures to ensure noise emission from patrons/members are kept to a minimum.
2. Ensuring the glass windows/doors are kept closed at all times (other than when patrons/members enter and exit the premises).
3. The erection of clear signage at all entries and exits advising patrons/members that they must not generate excessive noise when entering and leaving the premises.
4. Staff monitoring the behaviour of patrons/members within the subject premises and as they enter/exit to ensure noise emission of patrons/members is kept to a minimum
5. Restricting the use of low frequency speakers (sub-woofers) and ensuring any full range speakers are isolated from building structure.
6. The noise level of background music should be kept to an appropriate level, to enable speech intelligibility, and to ensure patrons/members are not required to raise their voices.
7. For pin & plate loaded weights equipment it is recommended to incorporate springs into equipment where feasible. Although unlikely to offer such treatments without prompting or specific request, most manufacturers/suppliers of pin and plate loaded weights equipment

are now able to fit springs and/or soft rubber supports/mounts to the pin and plate loaded weights equipment they supply.

8. It is recommended that any free weights equipment is positioned as close as practical to the most rigid part of the subject tenancy. Such locations are likely to be next to load bearing walls or as close as practically possible to structural columns. Further, weights areas should be located away from residences located directly above, below or adjacent
9. Where possible cardio equipment should also be placed as close as practical to the most rigid locations within the tenancy, however this is less critical than the location of the free weights and pin and plate loaded weights equipment.
10. The use of weights (dumbbells, barbell, kettlebells, plates and medicine balls) and pin/plate loaded machines is to be restricted to specific areas where appropriate impact isolating flooring has been installed.
11. Any frames and equipment fasteners should be decoupled from the building structure via the use of a resilient pads or sleeves.
12. The facility's Plan of Management should also include a procedure for handling complaints. This procedure should involve recording and promptly addressing all complaints. Timely discussions between the complainant and operator are encouraged, as cooperation often leads to swifter resolution. Minimum information to be recorded includes the complainant's location, typical intrusion time, and nature of the offending noise. The operator should investigate potential sources of complaints through representative testing and measurements where feasible and reasonable. Additional noise mitigation and management measures may be necessary to reduce and manage the disturbance effectively.

## 7 CONCLUSION

National Noise & Vibration has conducted a noise emission assessment for noise associated with The Yard Gym to be located at 16 Fullarton Rd, Kent Town SA 5067.

Noise emissions from the gym have been assessed and are expected to be compliant with the noise emission criteria outlined in Section 4.

Please contact us if you have any further queries.

Sincerely,

**Michael Phillips**

Head of Engineering  
M.A.A.S.  
MArchSc (Audio & Acoustics), AssocDeg (Audio Eng.)



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12/08/2024

National Noise & Vibration  
GYM NOISE EMISSIONS ASSESSMENT

## Appendix A – iNoise Noise Contours

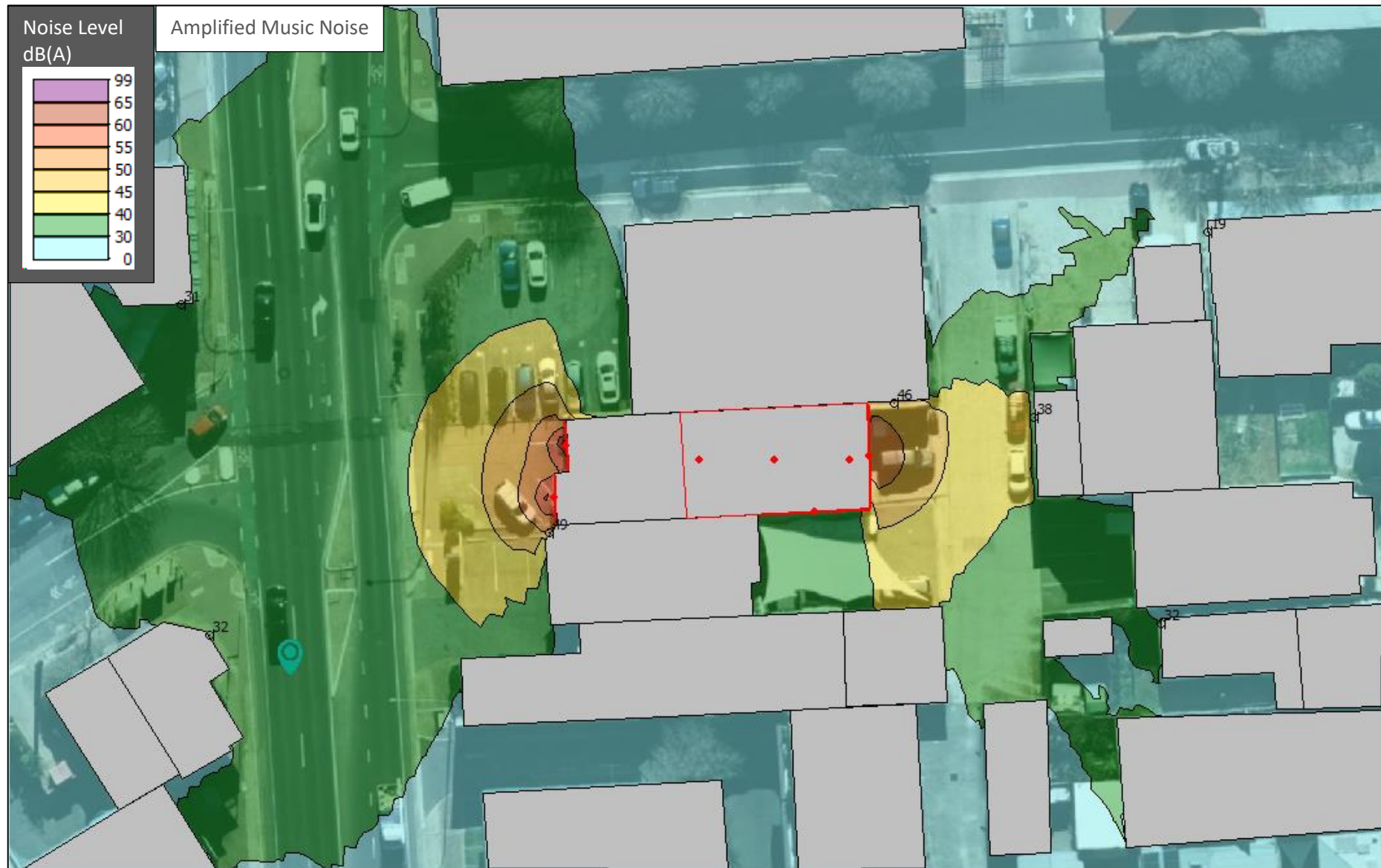


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GYM NOISE EMISSIONS ASSESSMENT



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6. **DEVELOPMENT APPLICATIONS – DEVELOPMENT ACT**
7. **REVIEW OF ASSESSMENT MANAGER DECISIONS**
8. **ERD COURT APPEALS**
9. **OTHER BUSINESS**  
(Of an urgent nature only)
10. **CONFIDENTIAL REPORTS**
11. **CLOSURE**